

WHEREAS, when worthy circumstances arise, the Memphis City Council has seen fit to name certain public roads to honor citizens who have served the City of Memphis, **Reverend Dr. Gerald Rayborn Sr.**, is certainly befitting of this great honor; and

WHEREAS, **Reverend Dr. Gerald Rayborn, Sr.**, a faithful servant of God, visionary leader, gifted gospel preacher, and beloved community pillar, was born on April 23, 1946, in Hernando, Mississippi, to the late Mr. C.G. Rayborn and Mrs. Elsie Elion Rayborn, and rose from humble beginnings as one of ten children to become a powerful voice of faith and hope throughout the city of Memphis; and

WHEREAS, **Reverend Dr. Gerald Rayborn, Sr.**, is a devoted husband to Bonnie Rayborn and a loving father to Gerald Rayborn, Jr. and Stacy Rayborn, exemplifying the values of faith, family, integrity, and unwavering commitment throughout his life and ministry; and

WHEREAS, after receiving his education at Delta Center High School in Walls, Mississippi, **Reverend Dr. Gerald Rayborn, Sr** answered the divine call upon his life by pursuing theological training at the William Herbert Brewster Clinic in Memphis, Tennessee, where his passionate preaching and electrifying spirit earned him the unforgettable name “Fireball” Rayborn; and

WHEREAS, **Reverend Dr. Gerald Rayborn, Sr.**, has faithfully dedicated his life to the work of the Gospel, beginning his ministry in 1976 and answering the pastoral call to Mt. Moriah Baptist Church in Eads, Tennessee, before being called in 1977 to lead Mt. Sinai Baptist Church in Memphis, Tennessee, where his dynamic leadership transformed lives, strengthened families, and expanded the ministry far beyond the church walls; and

WHEREAS, under **Reverend Dr. Gerald Rayborn, Sr.**, anointed leadership, Mt. Sinai Baptist Church flourished spiritually and numerically, resulting in the establishment of New Mt. Sinai M.B. Church and the expansion of countless outreach efforts designed to uplift the hurting, feed the hungry, encourage the discouraged, and bring hope to the community; and

WHEREAS, for more than forty years, **Reverend Dr. Gerald Rayborn, Sr.**, has stood boldly as a beacon of truth, compassion, and righteousness, preaching with conviction and power while reaching multitudes through his ministry broadcasts on 1340 WLOK radio station, ensuring that the message of Christ reached beyond just his community; and

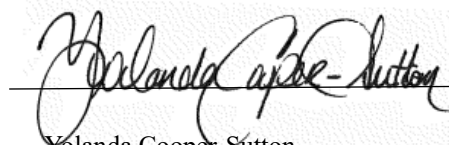
WHEREAS, the City of Memphis wishes to honor **Reverend Dr. Gerald Rayborn, Sr’s** outstanding contributions and lasting legacy by bestowing a symbolic recognition near the church that he will leave a lifelong legacy, lifetime of dedicated service, and undeniable impact.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMPHIS CITY COUNCIL that Horn Lake Road and Honduras Drive between Horn Lake Road and West Shelby Drive and Horn Lake Road and West Holmes Road shall be designated honorarily as

“Reverend Dr. Gerald Rayborn Sr. Drive”

BE IT FURTHER RESOLVED that the City Engineer is requested to affix suitable signs designating this public road.

ADOPTED: Tuesday, May 26, 2026



Yolanda Cooper-Sutton

Memphis City Council, Super District 8-3

WHEREAS, the C-SPAN StudentCam National Documentary Competition encourages students across the nation to engage in critical thinking, research, and storytelling through the creation of impactful documentaries addressing historical and contemporary issues; and

WHEREAS, students from Memphis East T-STEM Academy — Paytn Gibson, Carter Holmes, and Ty Miller — earned national recognition in the 2026 C-SPAN StudentCam National Documentary Competition for their documentary entitled “The Pursuit”; and

WHEREAS, their documentary explored the topic of immigration reform in the United States and highlighted the experiences and stories of American Dreamers, bringing awareness to an important and timely issue affecting communities across the nation; and

WHEREAS, from nearly 4,000 entries submitted nationwide, these outstanding students received Honorable Mention recognition, equivalent to a third-place national award, demonstrating exceptional academic achievement, creativity, and dedication to civic engagement; and

WHEREAS, the student team was awarded a \$250 prize in recognition of their accomplishment, and their mentor and adviser, Marshonn Calvin, was also recognized for his leadership, guidance, and commitment to student excellence; and

WHEREAS, the accomplishments of these students bring great pride to the City of Memphis and serve as a testament to the talent, intelligence, and leadership potential of Memphis youth;


NOW, THEREFORE, BE IT RESOLVED, that the Memphis City Council hereby honors and congratulates

**PAYTN GIBSON
CARTER HOLMES
TY MILLER**

of Memphis East T-STEM Academy for earning national recognition in the 2026 C-SPAN StudentCam National Documentary Competition and commends them for their outstanding documentary, “The Pursuit,” as well as their commitment to education, civic awareness, and excellence in storytelling.

BE IT FURTHER RESOLVED, that the Memphis City Council extends its appreciation to adviser Marshonn Calvin for his dedication to mentoring and empowering students to achieve such academic success.

ADOPTED: Tuesday, May 26, 2026



Councilwoman Janika White
Memphis City Council, Super District 8-2

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL |
ONLY STAPLED |
TO DOCUMENTS**

**Planning & Development
DIVISION**

**Planning & Zoning COMMITTEE: 04/28/2026
DATE**

**PUBLIC SESSION: 05/12/2026
DATE**

ITEM (CHECK ONE)

ORDINANCE RESOLUTION REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code approving a special use permit at the subject property located at 2342 Frayser Blvd, known as case number SUP 2026-003

CASE NUMBER: SUP 2026-003

LOCATION: 2342 Frayser Boulevard

COUNCIL DISTRICTS: District 7 and Super District 8 – Positions 1, 2, and 3

OWNER/APPLICANT: Sunny Chow, Chow Property & Investments

REPRESENTATIVE: Walkin Designs

REQUEST: To allow a drive-thru restaurant

AREA: +/-39, 559 square feet

RECOMMENDATION: The Division of Planning and Development recommended *Rejection*
The Land Use Control Board Recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: **Public Hearing Not Required**
Hearing – May 12, 2026

PRIOR ACTION ON ITEM:

(1) _____	APPROVAL - (1) APPROVED (2) DENIED
03/12/2026	DATE
(1) Land Use Control Board	ORGANIZATION - (1) BOARD / COMMISSION
	(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE


FUNDING:

(2) _____	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
\$ _____	AMOUNT OF EXPENDITURE
\$ _____	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

\$ _____	OPERATING BUDGET
\$ _____	CIP PROJECT # _____
\$ _____	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
	4/20/26	PLANNER
_____	4/20/26	DEPUTY ADMINISTRATOR
_____		ADMINISTRATOR
_____		DIRECTOR (JOINT APPROVAL)
_____		COMPTROLLER
_____		FINANCE DIRECTOR
_____		CITY ATTORNEY
_____		CHIEF ADMINISTRATIVE OFFICER
_____		COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

SUP 2026 – 003

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY LOCATED AT 2342 FRAYSER BOULEVARD, KNOWN AS CASE NUMBER SUP 2026 – 003

- This item is a resolution with conditions for a special use permit to allow a drive-thru restaurant; and
- The item may require future public improvement contracts.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, March 12, 2026**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: SUP 2026 – 003

LOCATION: 2342 Frayser Boulevard

COUNCIL DISTRICT(S): District 7 and Super District 8 – Positions 1, 2, and 3

OWNER/APPLICANT: Sunny Chow, Chow Property & Investments

REPRESENTATIVE: Walkin Designs

REQUEST: To allow a drive-thru restaurant

EXISTING ZONING: Commercial Mixed Use - 1 (CMU-1)

AREA: +/-39,559 Square feet

The following spoke in support: Sunny Chow

The following spoke in opposition: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion passed by a vote of 8-1-0 on the regular agenda.

Respectfully,



Alexis Longstreet

Planner

Land Use and Development Services

Division of Planning and Development

Cc: Committee Members

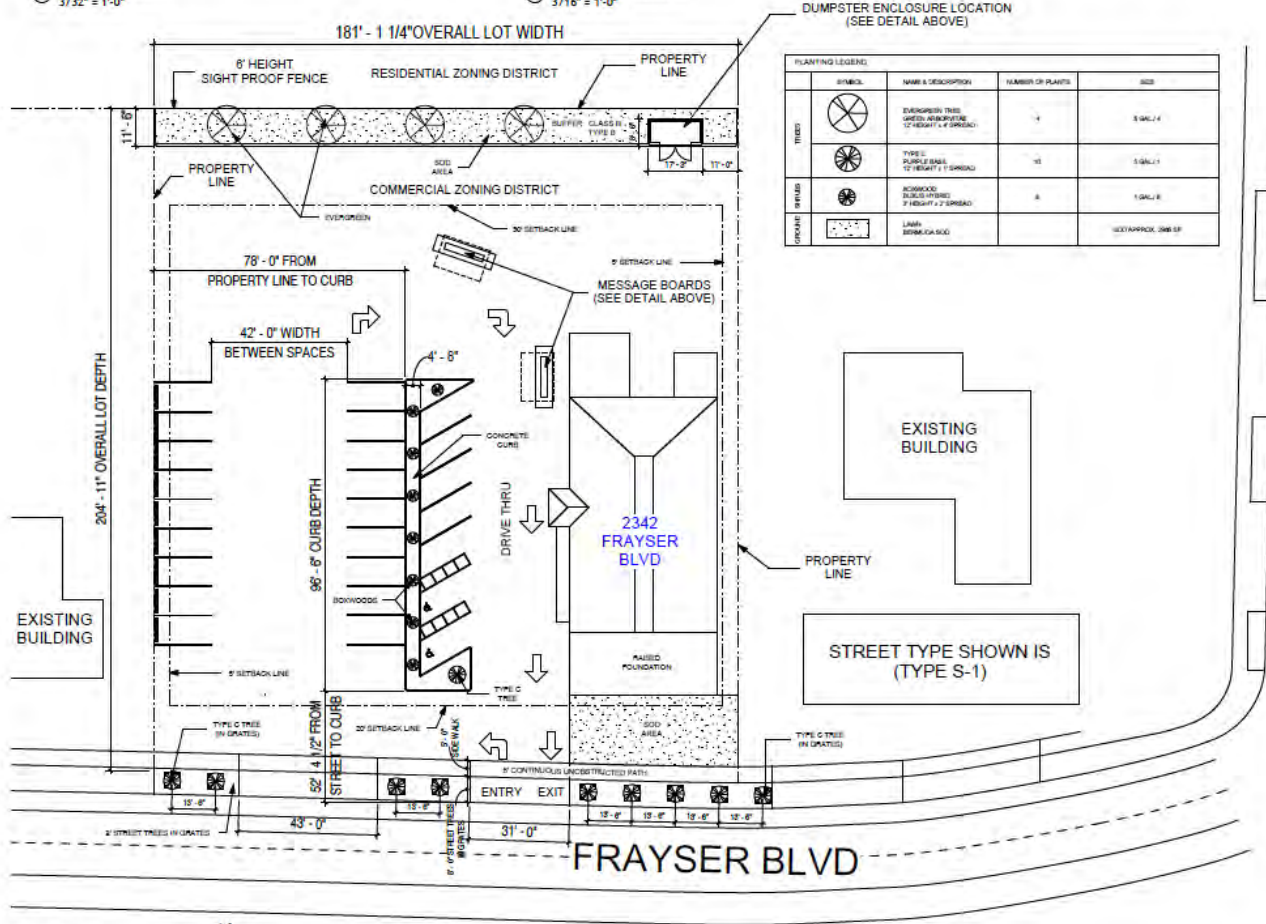
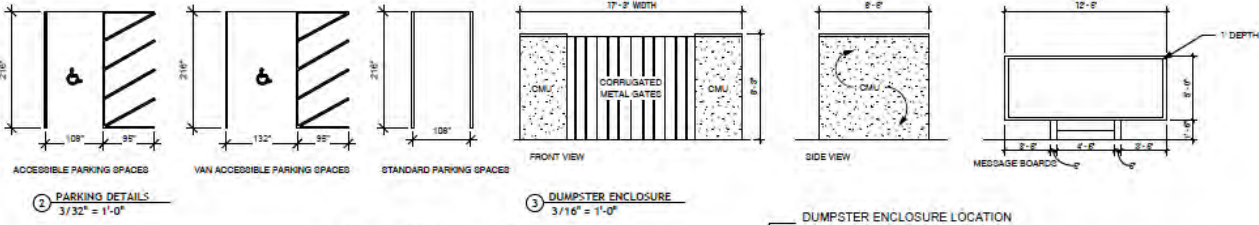
File

SUP 2026 – 003

CONDITIONS

1. The front façade minimum ground floor area transparency shall be a minimum of 40%.
2. The paved area between the principal structure and sidewalk along Frayser Boulevard (not including the raised foundation) will need to be removed and replaced with landscaping.
3. Streetscape landscaping is required along Frayser Boulevard.
4. A Class III landscaping buffer shall be installed along the property line which abuts residential zoning districts.
5. A final site plan, landscape plan, and elevations shall be submitted for administrative review and approval by the Division of Planning and Development.

SITE PLAN



OFFICE
6000 W Poplar Ave
Suite 250
Memphis, TN

PHONE
901.264.3988
901.618.8949

EMAIL
walkindesignteam@gmail.com

PROJECT TYPE:
COMMERCIAL

PLAN NUMBER:
SUP 2026-003

DESIGNED FOR:
KING CHOW

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2342 FRAYSER BLVD
MEMPHIS, TN 38127

SITE PLAN

4/9/2026 12:01:09 PM

A101

As indicated

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A SPECIAL USE PERMIT AT THE SUBJECT PROPERTY LOCATED AT 2342 FRAYSER BOULEVARD, KNOWN AS CASE NUMBER SUP 2026-003

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a special use permit for certain stated purposes in the various zoning districts; and

WHEREAS, Michael Fitch filed an application with the Memphis and Shelby County Division of Planning and Development to allow a drive-thru restaurant; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives, and standards for special use permits as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation concerning the above considerations to the Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on March 12, 2026, and said Board has submitted its findings and recommendation concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a special use permit is hereby granted for the request use in accordance with the attached conditions.

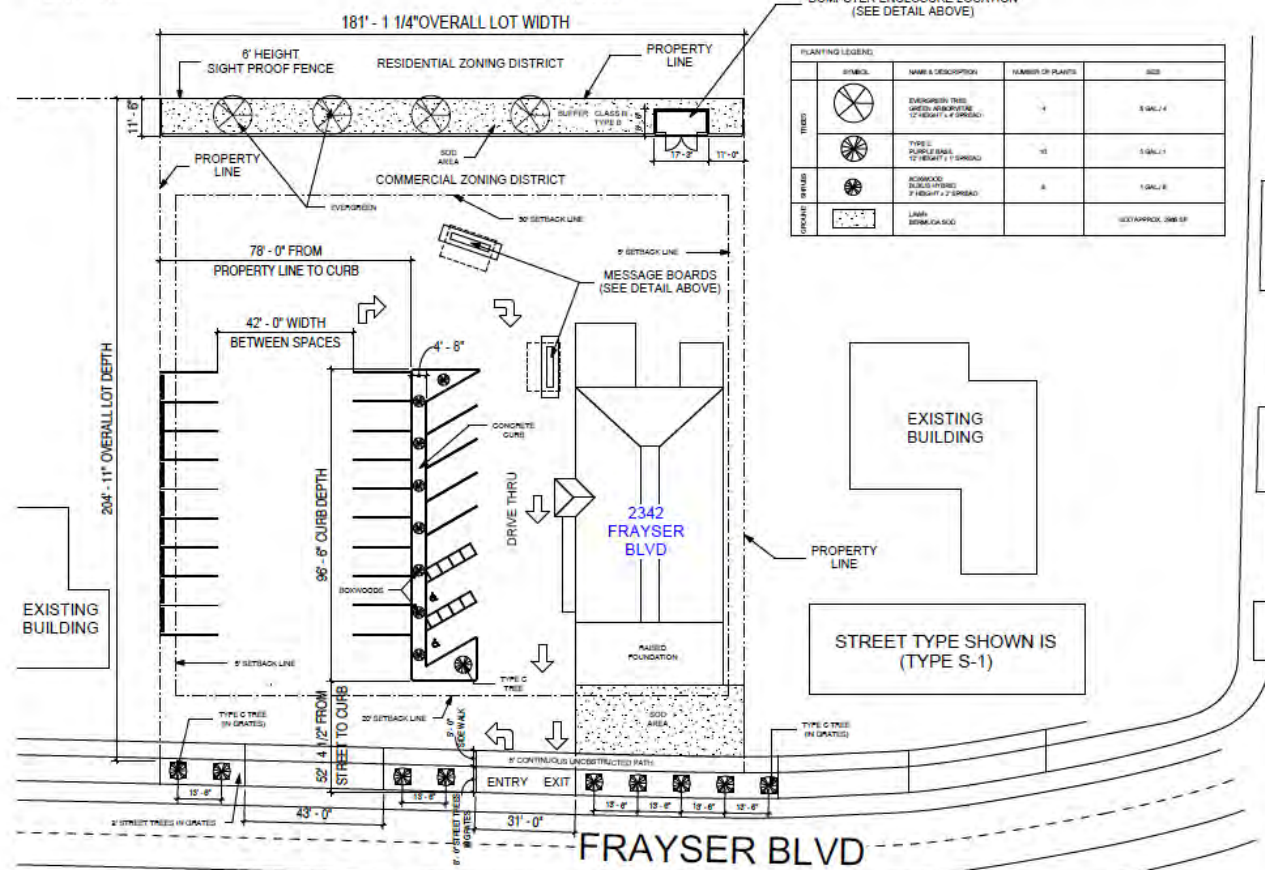
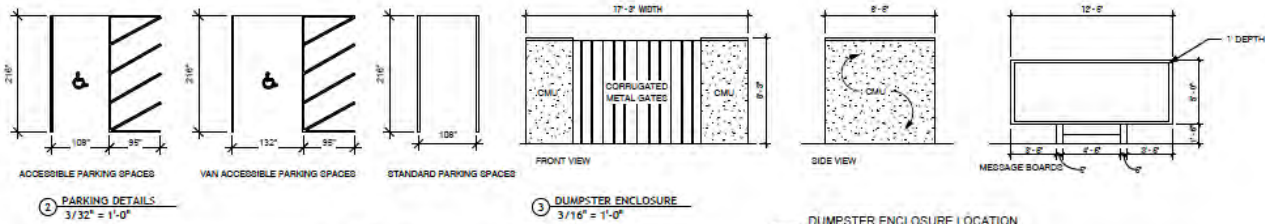
BE IT FURTHER RESOLVED, that this permit merely authorizes the filing of applications to acquire a Certificate of Use and Occupancy, or a Building Permit, and other required permits and approvals, provided that no such Certificate of Use and Occupancy shall be granted until all conditions imposed by the Council of the City of Memphis have been met.

BE IT FURTHER RESOLVED, that this Resolution take effect from and after the date it shall have been passed by this Council of the City of Memphis, and become effective as otherwise provided by law, and thereafter shall be treated as in full force and effect by virtue of passage thereof by the Council of the City of Memphis, the public welfare requiring same.

CONDITIONS

1. The front façade minimum ground floor area transparency shall be a minimum of 40%.
2. The paved area between the principal structure and sidewalk along Frayser Boulevard (not including the raised foundation) will need to be removed and replaced with landscaping.
3. Streetscape landscaping is required along Frayser Boulevard.
4. A Class III landscaping buffer shall be installed along the property line which abuts residential zoning districts.
5. A final site plan, landscape plan, and elevations shall be submitted for administrative review and approval by the Division of Planning and Development.

SITE PLAN



1 SITE PLAN
3/16" = 1'-0"

WK
walkin designs

OFFICE
6000 W Poplar Ave
Suite 250
Memphis, TN

PHONE
901.264.3988
901.618.8949

EMAIL
walkindesignteam@gmail.com

PROJECT TYPE:
COMMERCIAL

PLAN NUMBER:
SUP 2026-003

DESIGNED FOR:
KING CHOW

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2342 FRAYSER BLVD
MEMPHIS, TN 38127

SITE PLAN
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A101

As indicated

MOUNTAIN TERRACE ST

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

AGENDA ITEM: 11 **L.U.C.B. MEETING:** March 12, 2026
CASE NUMBER: SUP 2026-003
LOCATION: 2342 Frayser Boulevard
COUNCIL DISTRICT: District 7 and Super District 8 – Positions 1, 2, and 3
OWNER/APPLICANT: Michael Fitch
REPRESENTATIVE: N/A
REQUEST: Special use permit to allow a drive-thru restaurant
EXISTING ZONING: Commercial Mixed Use – 1 (CMU-1)

CONCLUSIONS

1. The applicant is proposing to utilize an existing dine-in restaurant with a pick-up window as a drive-thru restaurant that abuts residential properties north.
2. The existing structure has a +/-26.7 square feet building setback from Frayser Boulevard that was approved by way of a variance before the Board of Adjustments (BOA 1985-88) for a Pizza Hut dine-in restaurant.
3. The surrounding area along Frayser Boulevard has a mixture of commercial uses including various drive-thru restaurants, institutional and single-family land use designation.
4. A final site plan will need to be submitted to illustrate the missing details of the site improvements.
5. The granting of this special use permit will cause substantial detriment to the public good and will substantially impair the intent and purpose of an adopted plan or the Unified Development Code (UDC) and will be injurious to the neighborhood or the general welfare, and it will not be in harmony with the purpose and intent of the UDC.

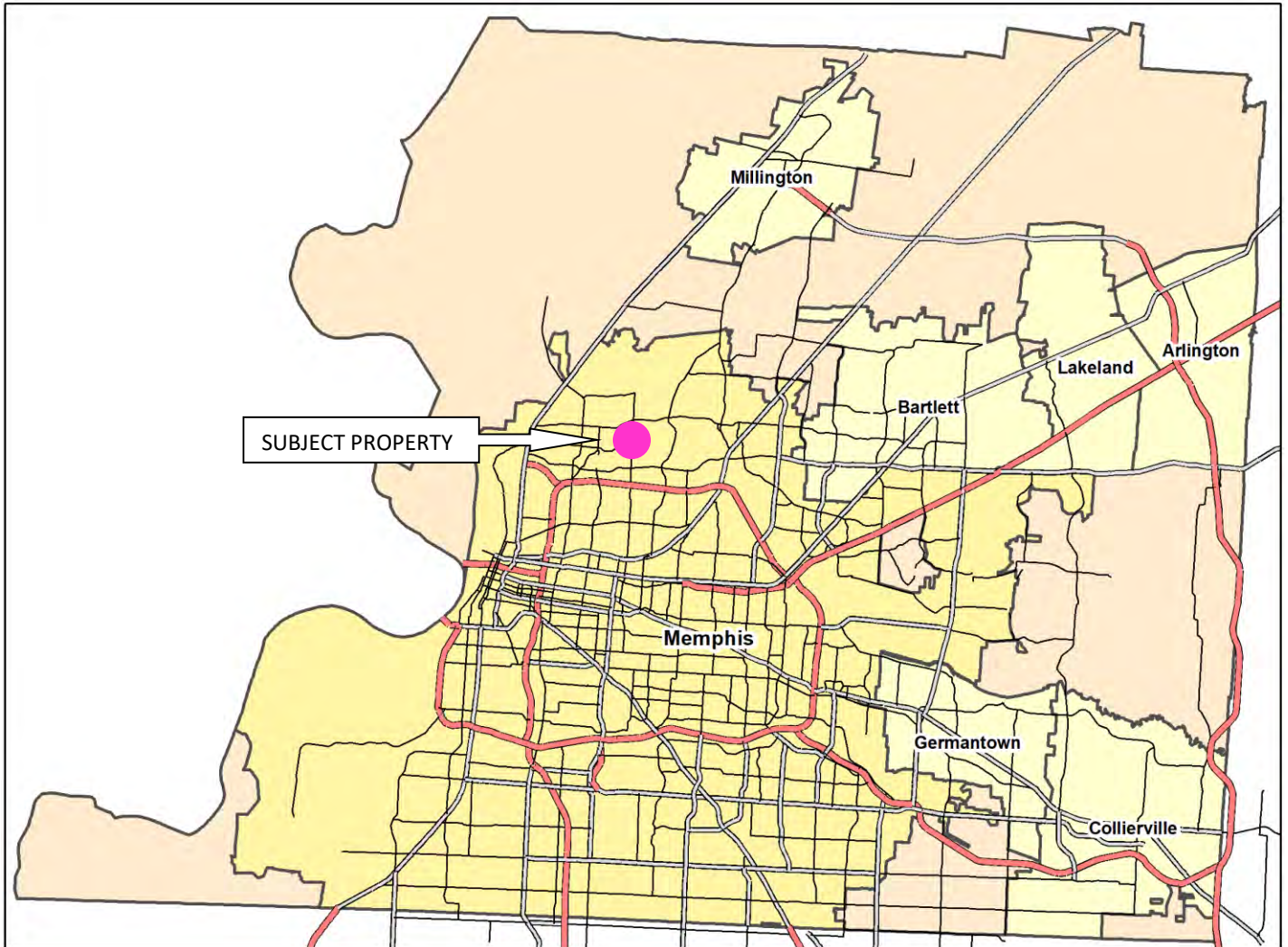
CONSISTENCY WITH MEMPHIS 3.0

This proposal is inconsistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on pages 17 – 19 of this report.

RECOMMENDATION:

Rejection

LOCATION MAP



Subject property located within the pink circle

PUBLIC NOTICE VICINITY MAP



Subject property highlighted in yellow

PUBLIC NOTICE DETAILS

In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signage posted. A total of 120 notices were mailed on February 20, 2026, see page 20 of this report for a copy of said notice. Additionally, one sign was posted at the subject property, see page 21 of this report for a copy of the sign affidavit.

NEIGHBORHOOD MEETING

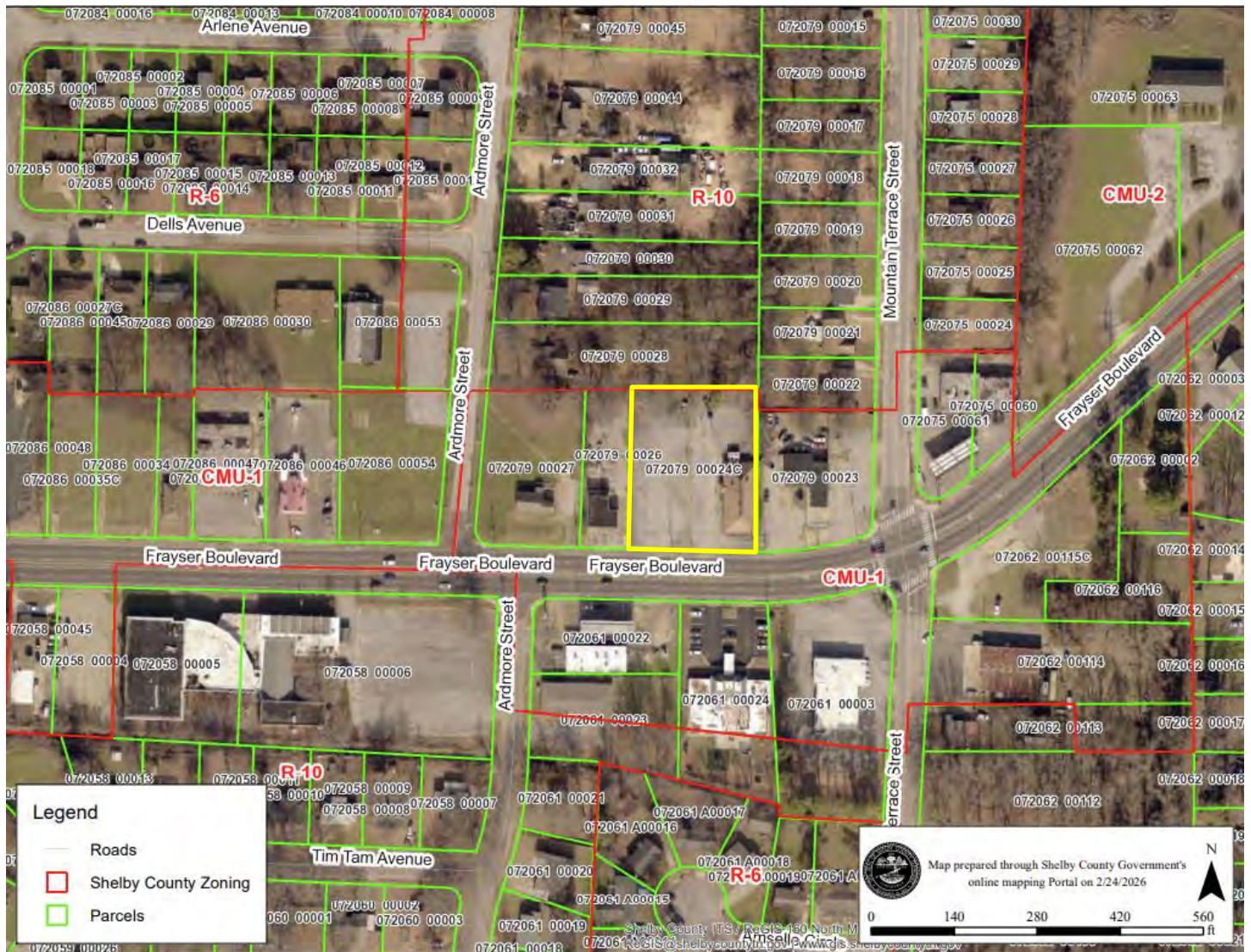
The meeting was held at 1:00 PM on Monday, March 2, 2026, at 2342 Frayser Blvd.

AERIAL



Subject property outlined in yellow

ZONING MAP



Subject property highlighted in yellow

LAND USE MAP



Subject property indicated by a pink star

SITE PHOTOS



View of subject property from Frayser Boulevard looking southwest



View of subject property from Frayser Boulevard looking northeast

SURVEY

BUILDING DATA

CEILING LOAD: 53
 KITCHEN LOAD: 7
 OCCUPANT LOAD (TOTAL): 60
 (According to Chapter 10 of International Building Code 2018)

RESTROOMS REQUIRED: 2
 RESTROOMS (TOTAL):
 (According to Chapter 29 of International Building Code 2018)

EXITS REQUIRED: 3
 EXITS (TOTAL): 3
 (According to Chapter 10 of International Building Code 2021)

BUILDING DATA CONT.

BUILDING: Group B
 NEW BUILDING AREA: 3,434 SqFt

USE & CONSTRUCTION:
 OCCUPANCY CLASSIFICATION: A-2
 (According to Chapter 3 of International Building Code 2021)

CONSTRUCTION TYPE: V-A
 (According to Chapter 6 of International Building Code 2021)

MAXIMUM HEIGHT (No. of FLOORS): 05 FT
 2 Stories Above
 (According to Chapter 6 of International Building Code 2021)

ALLOWABLE AREA: 9,500 SF
 (According to Chapter 5 of International Building Code 2021)

FIRE SPRINKLERS: (SPRINKLERS REQUIRED (EXISTING))

BUILDING DATA CONT.

BUILDING: Group B

ACCESSIBILITY & EGRESS:
 PARKING SPACES: 30
 (According to Chapter 8 of International Code Council 2017)

ACCESSIBLE PARKING: 2
 (According to Chapter 8 of International Code Council 2017)

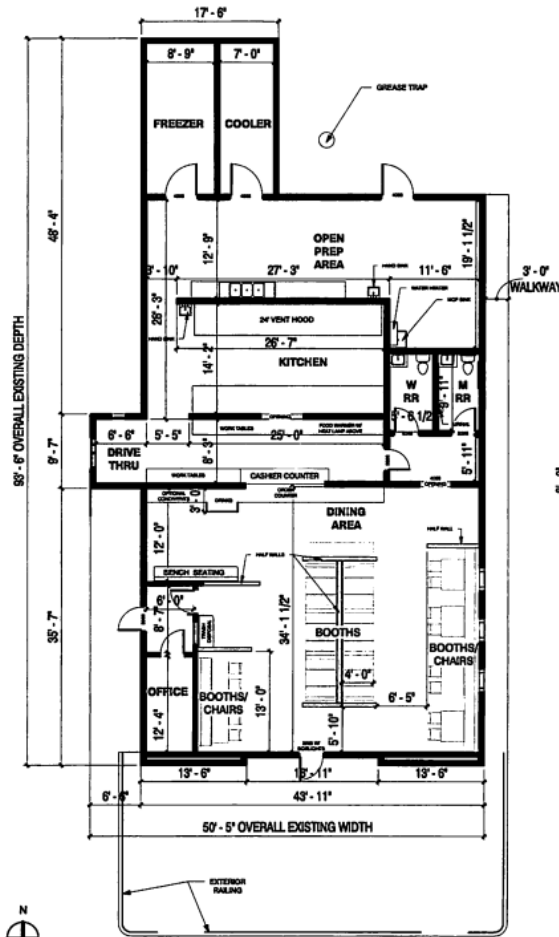
BUILDING HEIGHT (DRIVING AREA): 18'-0" FT
 BUILDING HEIGHT (MAIN BODY): 18'-0" FT

OCCUPANT LOAD: 60

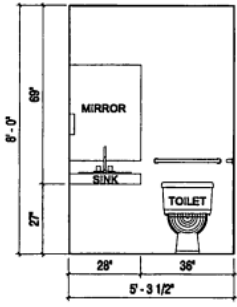
GOVERNING CODES

- BUILDING CODE: 2021 International Building Code with Local Amendments
- ELECTRICAL CODE: 2020 National Electric Code with Local Amendments
- MECHANICAL CODE: 2021 International Mechanical Code with Local Amendments
- PLUMBING CODE: 2021 International Plumbing Code with Local Amendments
- GAS CODE: 2021 International Fuel Gas Code with Local Amendments

1 PROPOSED PLAN
 1/8" = 1'-0"



NOTE!
 ALL NEWLY CONSTRUCTED
 WALLS CONSIST OF THE
 FOLLOWING:
 EXTERIOR : 2x6's
 INTERIOR : 2x4's



2 MENS/WOMENS RESTROOM ELEVATION
 1/2" = 1'-0"



OFFICE
 6000 W Poplar Ave
 Suite 250
 Memphis, TN

PHONE
 901.264.3988
 901.618.8949

EMAIL
 walkindesignsteam@gmail.com

PROJECT TYPE:
 COMMERCIAL

PLAN NUMBER:
 COM-02

DESIGNED FOR:
 KING CHOW

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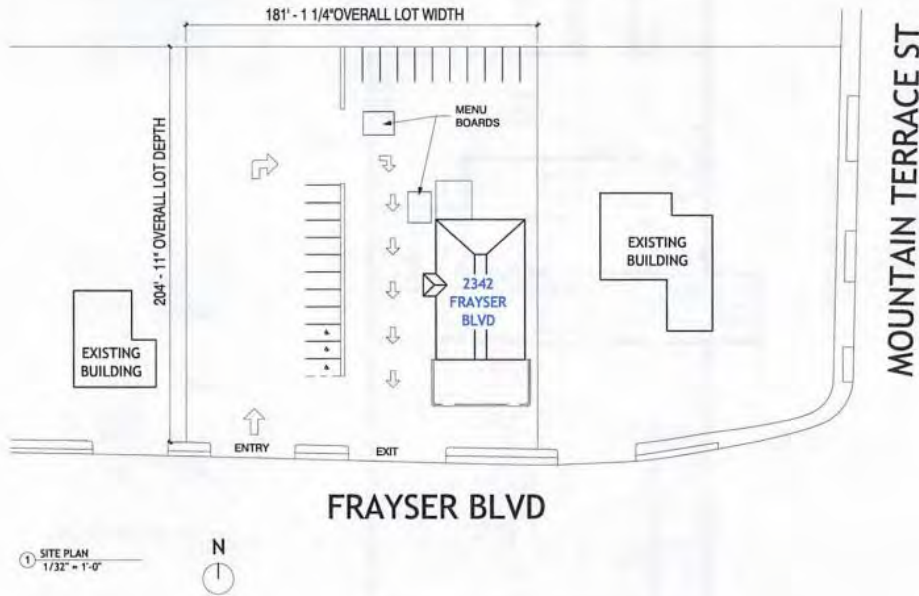
2342 FRAYSER BLVD
 MEMPHIS, TN 38127

FLOOR PLAN
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A102

As Indicated

SITE PLAN



① SITE PLAN
 1/32" = 1'-0"



walkin designs
OFFICE
 6000 W Poplar Ave
 Suite 250
 Memphis, TN

PHONE
 901.264.3988
 901.618.8949

EMAIL
 walkindesignteam@gmail.com

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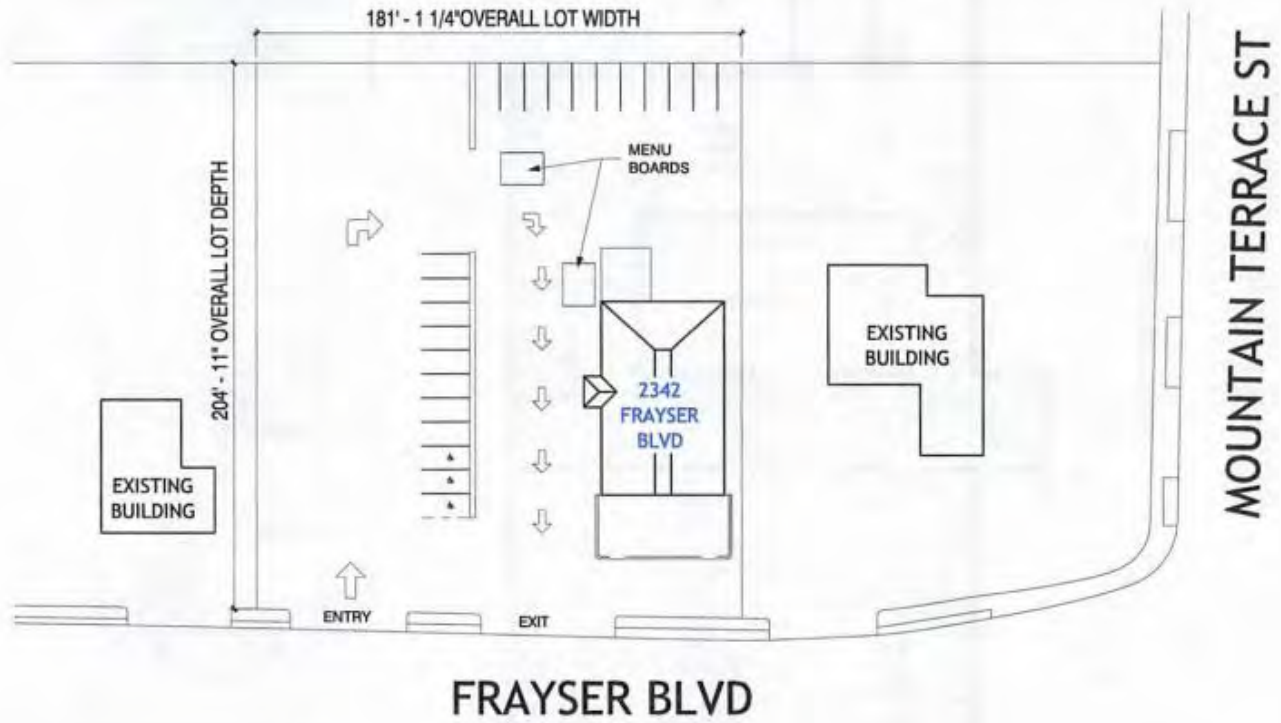
2342 FRAYSER BLVD
 MEMPHIS, TN 38127

SITE PLAN
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A101

1/32" = 1'-0"

SITE PLAN – MAGNIFIED



CASE REVIEW

Request

The request is a special use permit to allow a drive-thru restaurant.

Approval Criteria

Staff agrees the approval criteria in regard to special use permits as set out in Section 9.6.9 of the Unified Development Code are met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- 9.6.9A The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- 9.6.9B The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- 9.6.9C The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- 9.6.9D The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- 9.6.9E The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- 9.6.9F The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- 9.6.9G The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to ensure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- 9.6.9H Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Details

Address:
2342 Frayser Boulevard

Parcel ID:
072079 00024C

Area:
+/-39, 559 square feet

Description:

The subject property is zoned Commercial Mixed Use – 1. Per the Assessor’s website, the principal structure on the site was built circa 1981 with a ground floor area of +/- 3,646 square feet with a ‘Fast Food’ land classification. The surrounding land uses are a mixture of commercial, institutional and single-family lots. Additionally, this lot has single street frontage along Frayser Boulevard.

Relevant Unified Development Code Clauses

Paragraph 4.6.8A(1)

1. *In the CBD, SCBID, Uptown, and CMU-1 districts and on any designated shopfront, pedestrian or urban frontage (see Section 3.10.3), drive-thru windows and lanes may not be placed between the right-of-way of the street and the associated building. Drive-thru windows and lanes associated with buildings must be placed to the side or rear of the building.*

Paragraph 4.6.8B

1. *Trash collection, trash compaction, recycling collection and other similar service areas must be located on the side or rear of the building and be effectively screened from view from residential properties (does not include upperstory residential units associated with a mixed-use building) or public rights-of-way (not including an alley).*
2. *Screening enclosures shall be a fence or wall composed of an opaque matte material compatible with the dominant material of the primary building. Compatibility of material is subject to Zoning Administrator approval. Enclosures shall be a minimum of six feet in height.*
3. *All service areas must be located a minimum of 25 feet away from any abutting property in a single-family residential district. This distance may be reduced to seven feet if there is no single-family residential structure on the abutting single-family residential district or if the service area is screened by a masonry wall.*
4. *Service areas are not allowed in a required buffer area.*

Site Plan Review

The principal structure has a building setback +/- 27.7 feet

There is a total of twenty-two (22) parking spaces

- Three (3) handicap accessible spaces

There are two menu boards being proposed

- One of the proposed menu boards are located within the drive aisle and blocks the rear parking spaces.

There are two existing curb cuts along Frayser Boulevard

- Entrance: +/- 42.7 feet wide

- Exit: +/- 40.3 feet wide

The refuse container needs an enclosure that is architecturally compatible with the principal structure.

Analysis

The existing principal structure was previously operated as a dine-in restaurant with a pick-up window which is a permitted use in the Commercial Mixed Use – 1 District. Comprehensive Planning deemed the proposed use inconsistent with the goals of Low Intensity Commercial and Service land use. Although there was a pick-up window, the established did not operate a drive-thru with a menu board. The subject property has a commercial land use designation which matches the land use designation of several properties along Frayser Boulevard. The surrounding area, along Frayser Boulevard, is zoned Commercial Mixed Use – 1, Commercial Mixed Use – 2, or Residential Single Family.

The applicant will need to submit a final site plan that illustrates the dimensions of the proposed menu boards, dumpster location and enclosure, parking spaces and dimensions, and other proposed improvements.

The granting of this special use permit will cause substantial detriment to the public good and will substantially impair the intent and purpose of an adopted plan or the Unified Development Code (UDC) and will be injurious to the neighborhood or the general welfare, and it will not be in harmony with the purpose and intent of the UDC.

RECOMMENDATION

Staff recommends rejection; however if approved, with the following conditions.

Conditions

1. The front façade minimum ground floor area transparency shall be a minimum of 40%.
2. The paved area between the principal structure and sidewalk along Frayser Boulevard (not including the raised foundation) will need to be removed and replaced with landscaping.
3. Streetscape landscaping is required along Frayser Boulevard.
4. A Class III landscaping buffer shall be installed along the property line which abuts residential zoning districts.
5. A final site plan, landscape plan, and elevations shall be submitted for administrative review and approval by the Division of Planning and Development

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City Engineer:

1. Standard Public Improvement Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. City sanitary sewers are available to serve this development.
3. A sanitary sewer service connection plan is required to be submitted (via 901 portal) to the City Land Development Office for review and approval.
4. All required design plans and potential traffic control plan must be prepared in accordance with the City's Standard Requirements and must be stamped by a Professional Engineer registered in the State of Tennessee.
5. A Sewer Development fee may be required per the City of Memphis Sewer Use Ordinance.

Roads:

6. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
7. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

8. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.
9. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
10. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

11. The City Engineer shall approve the design, number, and location of curb cuts.
12. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter, and sidewalk.

County Engineer: No comments received.

City Fire Division:

1. All design and construction shall comply with the 2021 edition of the International Fire Code with local amendments and referenced standards.
2. Fire apparatus access shall comply with section 503.
3. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6.
4. Fire protection water supplies (including fire hydrants) shall comply with section 507.
5. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
6. IFC 510 In-building two-way emergency responder communication coverage shall be provided in all new and existing buildings. Buildings and structures that cannot support the required level of coverage shall be equipped with systems and components to enhance signals and achieve the required level of communication coverage.
7. A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

County Fire Division: No comments received.

City Real Estate: No comments received.

County Health Department: No comments received.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Office of Sustainability and Resilience: No comments received.

Office of Comprehensive Planning: See pages 17 – 19.

Comprehensive Planning Review of Memphis 3.0 Consistency

This summary is being produced in response to the following application to support the Land Use and Development Services department in their recommendation: SUP 2026-003

Site Address/Location: 2342 Frayser Boulevard

Overlay District/Historic District/Flood Zone: Not in an Overlay District, Historic District, or Flood Zone

Future Land Use Designation: Low Intensity Commercial and Services (CSL)

Street Type: Parkway

Applicant is requesting to re-open an existing drive-through window.

The following information about the land use designation can be found on pages 76 – 122:

1. Future Land Use Planning Map



Red polygon indicates the application site on the Future Land Use Map.

2. Land Use Description/Intent

Low Intensity Commercial and Service (CSL) areas are typically not associated with anchors. These areas may include neighborhood supporting commercial uses such as retail sales and services, offices, restaurants, funeral services, small-scale recreation, social service institutions, and occasional upper-story residential. Graphic portrayal of CSL is to the right.



“CSL” Form & Location Characteristics
Commercial and services uses, 1-4 stories height

“CSL” Zoning Notes

Generally compatible with the following zone districts: CMU-1 without frontage requirements, OG, SDBP in accordance with Form and characteristics listed above.

Existing, Adjacent Land Use and Zoning

Existing Land Use and Zoning: Commercial; CMU-1

Adjacent Land Use and Zoning: Commercial, Single-Family, Institutional, Vacant; CMU-1, CMU-2, R-10

Overall Compatibility: *The requested use is not compatible with the land use description/intent, form & location characteristics, and existing, adjacent land use; but is not compatible with the existing zoning notes and zoning. A commercial drive-through is incompatible with the existing pedestrian infrastructure along Frayser Boulevard created through Accelerate Memphis funds and is also incompatible with the existing residential neighborhood to the north.*

Degree of Change Map



Red polygon denotes the proposed site on the Degree of Change Map. There is no Degree of Change.

Degree of Change Description

N/A

3. Objectives/Actions Consistent with Goal 1, Complete, Cohesive, Communities

N/A

4. Pertinent Sections of Memphis 3.0 that Address Land Use Recommendations

The requested use of a drive-through window is inconsistent with **Objective 1.5 – Strengthen neighborhood commercial districts** **Action 1.5.9 – Improve walkability and multimodal access within and around community and Citywide Anchors to promote local economies and connect neighborhood residents and local businesses.**

While the drive-through would not be in a community anchor, it is directly adjacent to two anchors that are along Frayser Boulevard. Furthermore, the development of an auto-centric use would be incompatible with existing pedestrian and bike street improvements that serve to connect the two surrounding anchors.

Consistency Analysis Summary

Applicant is requesting to re-open an existing drive-through window.

The requested use is not compatible with the land use description/intent, form & location characteristics, and existing, adjacent land use; but is not compatible with the existing zoning notes and zoning. A commercial drive-through is incompatible with the existing pedestrian infrastructure along Frayser Boulevard created through Accelerate Memphis funds and is also incompatible with the existing residential neighborhood to the north.

The requested use of a drive-through window is inconsistent with **Objective 1.5 – Strengthen neighborhood commercial districts** **Action 1.5.9 – Improve walkability and multimodal access within and around community and Citywide Anchors to promote local economies and connect neighborhood residents and local businesses.**

Based on the information provided, the proposal is **INCONSISTENT** with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Grayson Vincent, Comprehensive Planning.

SIGN AFFIDAVIT

AFFIDAVIT

Shelby County
State of Tennessee

I, Michael Fitch, being duly sworn, depose and say that at 9 am/pm on the 2 day of March, 2026, I posted 3 Public Notice Sign(s) pertaining to Case No. SUP 2026 003 at 2342 Frayser Blvd, providing notice of a Public Hearing before the (check one):

- Land Use Control Board
- Board of Adjustment
- Memphis City Council
- Shelby County Board of Commissioners

for consideration of a proposed land use action, a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

[Signature]
Owner, Applicant or Representative

March 2, 2026
Date

Subscribed and sworn to before me this 2 day of March, 2026.

[Signature]
Notary Public
My commission expires: 2/14/29



APPLICATION



**Memphis and Shelby County Division of
Planning and Development**

East Service Center: 6465 Mullins Station Rd; Memphis,
Tennessee 38134
Downtown Service Center: 125 N. Main Street;
Memphis, Tennessee 38103

website: www.develop901.com

Record Summary for Special Use Permit

Record Detail Information

Record Type: Special Use Permit

Record Status: Pending

Opened Date: January 20, 2026

Record Number: SUP 2026-003

Expiration Date:

Record Name: -

Description of Work: Updating and reopening an existing drive thru window

Parent Record Number:

Address:

2342 FRAYSER BLVD, MEMPHIS 38127

Owner Information

Primary Owner Name

Y CHOW PROPERTY & INVESTMENTS &

Owner Address

Owner Phone

3990 N POTTER WOODS CV, ARLINGTON, TN 38002

Parcel Information

072079 00024C

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner Alexis Longstreet

Date of Meeting 01/13/2026

Pre-application Meeting Type -

GENERAL PROJECT INFORMATION

Application Type New Special Use Permit (SUP)

List any relevant former Docket / Case -

Number(s) related to previous applications on this site

Is this application in response to a citation, stop work order, or zoning letter No

GENERAL PROJECT INFORMATION

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information

-

APPROVAL CRITERIA

A) The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare

This project will be constructed to enhance the character of the neighborhood.

B) The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations

This project will be constructed to blend in with the immediate vicinity.

UDC Sub-Section 9.6.9C

This project will be constructed to facilitate public and emergency services.
 the completion of this project ill be innocuous.
 This project will be constructed to comply with local codes.
 The approval of this project will benefit the adjacent properties.

UDC Sub-Section 9.6.9D

UDC Sub-Section 9.6.9E

UDC Sub-Section 9.6.9F

GIS INFORMATION

Case Layer
 Central Business Improvement District
 Class
 Downtown Fire District
 Historic District
 Land Use
 Municipality
 Overlay/Special Purpose District
 Zoning
 State Route
 Lot
 Subdivision
 Planned Development District
 Wellhead Protection Overlay District
 County Commission District
 City Council District
 City Council Super District

BOA1985-088
 No
 C
 No
 -
 COMMERCIAL-
 MEMPHIS
 -
 CMU-1
 -
 -
 -
 -
 No
 -
 -
 -

Contact Information

Name
MICHAEL FITCH

Contact Type
APPLICANT

Address
TN,

Phone
(901)331-0039

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed
1702521	Special Use Permit Fee - 5 acres or less (Base Fee)	1	500.00	INVOICED	0.00	01/20/2026

Total Fee Invoiced: \$500.00

Total Balance: \$0.00

Payment Information

Payment Amount	Method of Payment
\$500.00	Check

OWNER AFFIDAVIT



Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, Sunny Chow (Print Name) [Signature] (Sign Name), state that I have read the definition of

"Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 2342 Frayser Blvd Memphis, TN 38127
and further identified by Assessor's Parcel Number 072079 00024C
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 16 day of January in the year of 2026.

[Signature]
Signature of Notary Public



COMMISSION EXPIRES:
NOVEMBER 18, 2026

My Commission Expires _____

LETTER OF INTENT

Jan 29, 2026

The project at 2342
Fraser Blvd is intended to
reopen an existing drive-
thru window

Michael Fitch


LETTERS RECEIVED

No letters received at the time of completion of this report.



Memphis and Shelby County Division of Planning and Development

East Service Center: 6465 Mullins Station Rd; Memphis, Tennessee 38134

Downtown Service Center: 125 N. Main Street; Memphis, Tennessee 38103

website: www.develop901.com

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Primary Owner Name

Y CHOW PROPERTY & INVESTMENTS &

Owner Address

3990 N POTTER WOODS CV, ARLINGTON, TN 38002

Owner Phone

Parcel Information

072079 00024C

Data Fields

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Name of DPD Planner Alexis Longstreet

Date of Meeting 01/13/2026

Pre-application Meeting Type -

GENERAL PROJECT INFORMATION

Application Type New Special Use Permit (SUP)

List any relevant former Docket / Case -

Number(s) related to previous applications on this site

Is this application in response to a citation, stop work order, or zoning letter No

GENERAL PROJECT INFORMATION

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information

-

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This project will be constructed to blend in with the immediate vicinity.

UDC Sub-Section 9.6.9C

This project will be constructed to facilitate public and emergency services.

UDC Sub-Section 9.6.9D

the completion of this project ill be innocuous.

UDC Sub-Section 9.6.9E

This project will be constructed to comply with local codes.

UDC Sub-Section 9.6.9F

The approval of this project will benefit the adjacent properties.

GIS INFORMATION

Case Layer

BOA1985-088

Central Business Improvement District

No

Class

C

Downtown Fire District

No

Historic District

-

Land Use

COMMERCIAL

Municipality

MEMPHIS

Overlay/Special Purpose District

-

Zoning

CMU-1

State Route

-

Lot

-

Subdivision

-

Planned Development District

-

Wellhead Protection Overlay District

No

County Commission District

-

City Council District

-

City Council Super District

-

Contact Information

Name
MICHAEL FITCH

Contact Type
APPLICANT

Address
TN,

Phone
(901)331-0039

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed
1702521	Special Use Permit Fee - 5 acres or less (Base Fee)	1	500.00	INVOICED	0.00	01/20/2026

Total Fee Invoiced: \$500.00

Total Balance: \$0.00

Payment Information

Payment Amount	Method of Payment
\$500.00	Check



Shelby County Tennessee
Willie F. Brooks, Jr.
Shelby County Register

As evidenced by the instrument number shown below, this document
has been recorded as a permanent record in the archives of the
Office of the Shelby County Register.

25030220
04/17/2025 - 10:35:30 AM

7 PGS

ABRIA 2823453-25030220

VALUE	285000.00
MORTGAGE TAX	0.00
TRANSFER TAX	1054.50
RECORDING FEE	35.00
DP FEE	2.00
REGISTER'S FEE	1.00
EFILE FEE	2.00
TOTAL AMOUNT	1094.50

WILLIE F. BROOKS JR
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

**THIS INSTRUMENT PREPARED BY:
SNELL & WILMER L.L.P.
ONE EAST WASHINGTON ST., STE 2700
PHOENIX, AZ 85004
ATTN: TIMOTHY SMITH, E**

WHEN RECORDED MAIL TO:

**FIDELITY NATIONAL TITLE CO – NCS DIV
ONE EAST WASHINGTON STREET, SUITE 450
PHOENIX, AZ 85004
ATTN: KELLI VOS
(602)343-7572**

**TITLE NO.: 20250342CTN
ESCROW NO.: AZ250197-KEY**

DO NOT REMOVE THIS COVER SHEET. IT IS NOW PART OF THE RECORDED DOCUMENT.

DOCUMENT TO BE RECORDED:

SPECIAL WARRANTY DEED

THIS INSTRUMENT PREPARED BY:

Snell & Wilmer L.L.P.
One East Washington St., Suite 2700
Phoenix, AZ 85004
Attn: Timothy Smith, Esq.

**Tax parcel identification
number(s):**
072079 00024C

**Name and Address of Owner and Taxpayer and send
tax bill to:**

Chow Property & Investments & Management
3990 N. Potter Woods Cove
Lakeland, TN 38002
Attn: King Chow

SPECIAL WARRANTY DEED

THIS INDENTURE, made and entered into this 21st day of March, 2025, by and between Realty Income Corporation, a Maryland corporation, the party of the first part, whose address is 11995 El Camino Real, San Diego, CA 92130, and Chow Property & Investments & Management, a Tennessee limited partnership, the party of the second part, whose address is 3990 N. Potter Woods Cove, Lakeland, TN 38002.

WITNESSETH: That for and in consideration of Ten Dollars, cash in hand paid, and other good and valuable consideration, the receipt of all of which is hereby acknowledged, the said party of the first part has bargained and sold and does hereby bargain, sell, convey and confirm unto the said party of the second party that certain real property legally described on the attached Exhibit A (the "Property"), together with all right, title and interest of said party of the first part in and to (i) all improvements located on the Property; (ii) all easements, if any, benefiting the Property; and (iii) all rights, benefits, privileges and appurtenances pertaining to the Property.

SUBJECT TO all unpaid, non-delinquent real property taxes, general and special taxes, bonds, and assessments; all liens, covenants, conditions, reservations, rights, easements, interests, rights of way, and restrictions of public record; all leases and any other occupancy agreements in effect; all zoning ordinances and regulations and any other laws, ordinances or governmental regulations restricting or regulating the use, occupancy or enjoyment of the Property; and all matters visible upon or about the Property or that would be disclosed by an accurate survey of the Property (the "Permitted Exceptions").

The party of the first part hereby binds itself, its successors and assigns, to warrant and forever defend all and singular the Property unto the party of the second part, its successors and assigns, against any person whomsoever lawfully claiming or to claim the same or any part thereof by, through or under the party of the first party, but not otherwise, and subject to the Permitted Exceptions.

Whenever the word "party" is used herein, it shall mean "parties" if there are more than one person referred to and whenever pronouns occur herein, they shall be construed according to their proper gender and number according to the context of this instrument.

BY ACCEPTANCE OF THIS DEED, THE PARTY OF THE SECOND PART EXPRESSLY ACKNOWLEDGES, ACCEPTS, AND AGREES THAT EXCEPT FOR ANY WARRANTIES OF TITLE AS PROVIDED AND LIMITED IN THIS DEED, (A) THE PARTY OF THE FIRST PART HAS NOT MADE AND DOES NOT MAKE ANY REPRESENTATIONS OR WARRANTIES AS TO THE PHYSICAL CONDITION, OR ANY OTHER MATTER AFFECTING OR RELATED TO THE PROPERTY; (B) TO THE MAXIMUM EXTENT PERMITTED BY LAW, THE PROPERTY IS CONVEYED "AS IS, WHERE IS, WITH ALL FAULTS," AND (C) THE PARTY OF THE FIRST PART EXPRESSLY DISCLAIMS ANY AND ALL REPRESENTATIONS, WARRANTIES OR GUARANTIES, OF ANY KIND, ORAL OR WRITTEN, EXPRESS OR IMPLIED, CONCERNING THE PROPERTY, INCLUDING WITHOUT LIMITATION ANY RELATING TO (i) THE VALUE, CONDITION, MERCHANTABILITY, HABITABILITY, MARKETABILITY, PROFITABILITY, SUITABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE OF THE PROPERTY, (ii) THE SUITABILITY OF THE PROPERTY FOR ANY AND ALL ACTIVITIES, USES OR PURPOSES WHICH THE PARTY OF THE SECOND PART OR ANYONE ELSE MAY INTEND TO CONDUCT THEREON, (iii) THE ENVIRONMENTAL CONDITION OF THE PROPERTY, AND (iv) THE COMPLIANCE OF THE PROPERTY WITH ANY APPLICABLE LAWS AND REGULATIONS.

Dated this 21st day of March, 2025.

[Signature page follows]

Executed this 20th day of March, 2025.

GRANTOR:

Realty Income Corporation,
a Maryland corporation

By: [Signature]
Name: Janeen S. Drakulich
Its: SVP, Head of Asset Management

Approved as to Form
Snell & Wilmer Law Firm

[Signature]
Jordin Pettit

ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

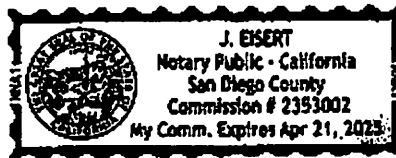
STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

On March 20, 2025, before me, J. Eisert, Notary Public, personally appeared Janeen S. Drakulich, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Signature of Notary Public (Notary Seal)




STATE OF ARIZONA)

COUNTY OF MARICOPA)

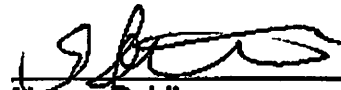
Mail Tax Bills to: Chow Property & Investments & Management
3990 N. Potter Woods Cove
Lakeland, TN 38002
Attn: King Chow

I, or we, hereby swear or affirm that, to the best of affiant's knowledge, information and belief, the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$285,000.00, which amount is equal to or greater than the amount which the property transferred would command at a fair and voluntary sale.



Affiant

Subscribed and sworn to before me this DATE.



Notary Public
Erin Leatham

Typed or Printed Name

My Commission Expires: 9-30-25

(SEAL)



ERIN LEATHAM
Notary Public - Arizona
Maricopa Co. / #814103
Expires 09/30/2025

After recording return to: Chow Property & Investments & Management
3990 N. Potter Woods Cove
Lakeland, TN 38002
Attn: King Chow

**EXHIBIT A
LEGAL DESCRIPTION**

A certain tract of land in Shelby County, State of Tennessee, more particularly described as follows:

PARCEL I

The East 100 feet of a 2.22 acre tract, more or less, which is part of the McKell 11.49 acre tract on Old Center Point Road (now Raleigh Frayser Road), being a part of a 283 acre tract known as Part of Lot 1 and 2 of Markman tract described in Deed in Book 537, Page 1, in the Register's Office of Shelby County, Tennessee, containing 0.49 acres, more or less, and more particularly described as follows:

Beginning at a point in the North line of Frayser Boulevard said point being in the Southwest corner of Lot 83, Northwood Manor Subdivision, as recorded in Plat Book 23, Page 39, said point being the TRUE POINT OF BEGINNING; thence run S 89°03'59" W along the North right of way margin of Frayser Boulevard for a distance of 100 feet to a point; thence run N 00°56'01" W parallel with the East boundary line of said Lot 83 for a distance of 215.00 feet to a point; thence run N 89°03'59" E parallel with the North right of way margin of said Frayser Boulevard for a distance of 100.00 feet to a point in the West boundary line of Lot 36, Northwood Manor Subdivision, thence run S 00°56'01" E long the West boundary line of said Lot 36 and Lot 83, for a distance of 215.00 feet to a point and back to the TRUE POINT OF BEGINNING.

PARCEL II

Part of McKell, 11.49 Acres on the North side of Frayser Boulevard, containing 0.39 acres, more or less, being more particularly described as follows:

Beginning at a point in the North line of Frayser Boulevard said point being in the Southwest corner of Lot 83, Northwood Manor Subdivision, as recorded in Plat Book 23, Page 39; thence run S 89°03'59" W along the North right of way margin of Frayser Boulevard, a distance of 100.00 feet to a point, said point being the TRUE POINT OF BEGINNING; thence continue S 89°03'59" W along said North right of way margin of Frayser Boulevard for a distance of 79.00 feet to a point; thence run N 00°56'01" W parallel with the East boundary line of said Lot 83 for a distance of 215.00 feet to a point; thence run N 89°03'59" E parallel with the North right of way margin of said Frayser Boulevard for a distance of 79.00 feet to a point; thence run S 00°56'01" E parallel with the west boundary line of said Lot 83 for a distance of 215.00 feet to a point and back to the TRUE POINT OF BEGINNING.

Being the same property conveyed to Realty Income Corporation by deed of record in Instrument No. 06174697, Register's Office for Shelby County, Tennessee.

Jan 29, 2026

The project at 2342
Fraser Blvd is intended to
reopen an existing drive-
thru window

Michael Fitch


Rita Kl Anderson

Approved for Issue By:

Signature of Owner or Authorized Agent

Date

[Faint handwritten text]

[Faint handwritten text]

[Faint handwritten text]

MEMPHIS AND SHELBY COUNTY DIVISION OF PLANNING AND DEVELOPMENT

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, Sunny Chow (Print Name) [Signature] (Sign Name), state that I have read the definition of

"Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

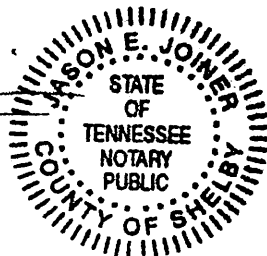
I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises

I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 2342 Frayser Blvd Memphis, TN 38127
and further identified by Assessor's Parcel Number 072079 00024C
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 16 day of January in the year of 2026.

[Signature]
Signature of Notary Public



COMMISSION EXPIRES:
NOVEMBER 18, 2026

My Commission Expires _____

BUILDING DATA

(DINING LOAD): 53
 (KITCHEN LOAD): 7
 OCCUPANT LOAD (TOTAL): 60
 (According to Chapter 10 of International Building Code 2018)

RESTROOMS REQUIRED: 2
 RESTROOMS (TOTAL): 2
 (According to Chapter 29 of International Building Code 2018)

EXIT(S) REQUIRED: 3
 EXITS (TOTAL): 3
 (According to Chapter 10 of International Building Code 2021)

BUILDING DATA CONT.

BUILDING: Group B
 NEW BUILDING AREA: 3,434 SqFt

USE & CONSTRUCTION: A-2
 OCCUPANCY CLASSIFICATION: (According to Chapter 3 of International Building Code 2021)

CONSTRUCTION TYPE: V-A
 (According to Chapter 6 of International Building Code 2021)

MAXIMUM HEIGHT/No of FLOORS: 65 FT
 2 Stories Above
 (According to Chapter 5 of International Building Code 2021)

ALLOWABLE AREA: 9,600 SF
 (According to Chapter 5 of International Building Code 2021)

FIRE SPRINKLERS: SPRINKLERS REQUIRED (EXISTING)

BUILDING DATA CONT.

BUILDING: Group B

ACCESSIBILITY & EGRESS: 30
 PARKING SPACES: (According to Chapter 5 of International Code Council 2017)

ACCESSIBLE PARKING: 2
 (According to Chapter 5 of International Code Council 2017)

BUILDING HEIGHT (DINING AREA): 18'-0" FT
 BUILDING HEIGHT (MAIN BODY): 18'-0" FT

OCCUPANT LOAD: 60

GOVERNING CODES

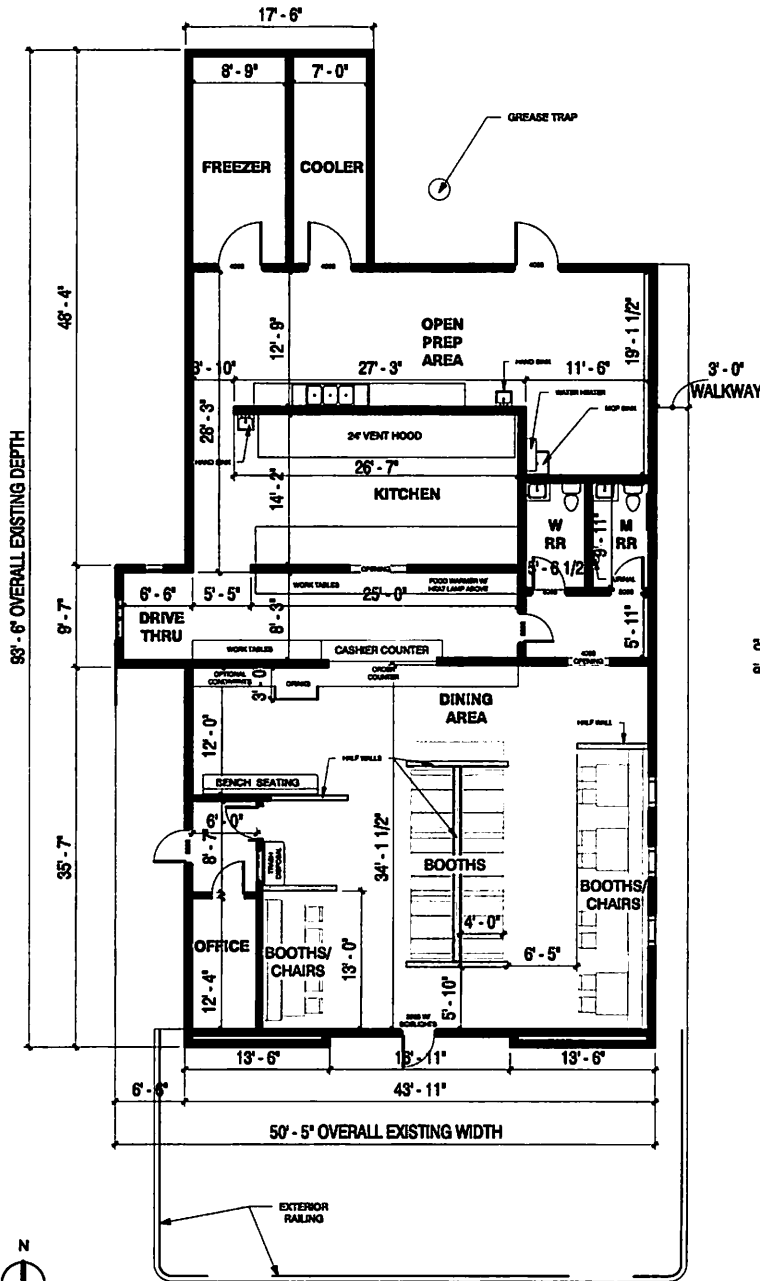
BUILDING CODE: 2021 International Building Code with Local Amendments

ELECTRICAL CODE: 2020 National Electric Code with Local Amendments

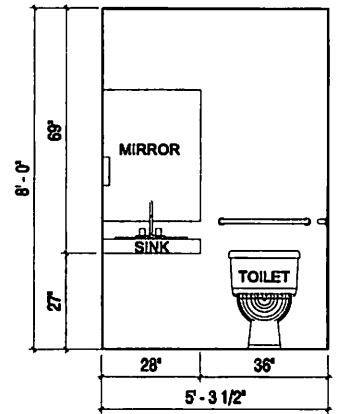
MECHANICAL CODE: 2021 International Mechanical Code with Local Amendments

PLUMBING CODE: 2021 International Plumbing Code with Local Amendments

GAS CODE: 2021 International Fuel Gas Code with Local Amendments

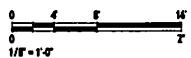


NOTE!
 ALL NEWLY CONSTRUCTED WALLS CONSIST OF THE FOLLOWING:
 EXTERIOR : 2x6's
 INTERIOR : 2x4's



② MENS/WOMENS RESTROOM ELEVATION
 1/2" = 1'-0"

① PROPOSED PLAN
 1/8" = 1'-0"



OFFICE
 6000 W Poplar Ave
 Suite 250
 Memphis, TN

PHONE
 901.264.3988
 901.618.8949

EMAIL
 walkindesignsteam@gmail.com

PROJECT TYPE:
 COMMERCIAL

PLAN NUMBER:
 COM-02

DESIGNED FOR:
 KING CHOW

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2342 FRAYSER BLVD
 MEMPHIS, TN 38127

FLOOR PLAN
 1/12/2026 2:38:42 PM

A102

As indicated



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

March 13, 2026

Michael Fitch, CM MPE

Sent via electronic mail to: constructionmpe@gmail.com

Case Number: SUP 2026-003

LUCB Recommendation: Rejection, however if approved, with conditions

Dear applicant,

On Thursday, March 12, 2026, the Memphis and Shelby County Land Use Control Board recommended **approval** of your special use permit application to allow a drive-thru restaurant at 2342 Frayser Blvd., subject to the following conditions:

1. The front façade minimum ground floor area transparency shall be a minimum of 40%.
2. The paved area between the principal structure and sidewalk along Frayser Boulevard (not including the raised foundation) will need to be removed and replaced with landscaping.
3. Streetscape landscaping is required along Frayser Boulevard.
4. A Class III landscaping buffer shall be installed along the property line which abuts residential zoning districts.
5. A final site plan, landscape plan, and elevations shall be submitted for administrative review and approval by the Division of Planning and Development

This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6619 or via email at Alexis.Longstreet@memphistn.gov.

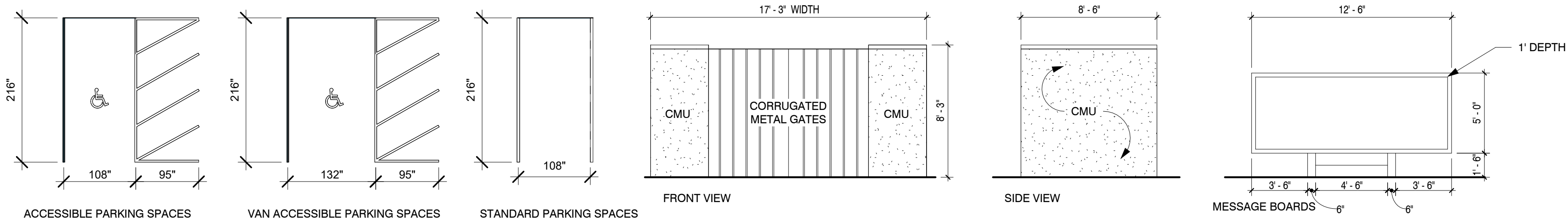
Letter to Applicant
SUP 2026-003

Respectfully,

Alexis Longstreet

Alexis Longstreet
Planner
Land Use and Development Services
Division of Planning and Development

Cc: File

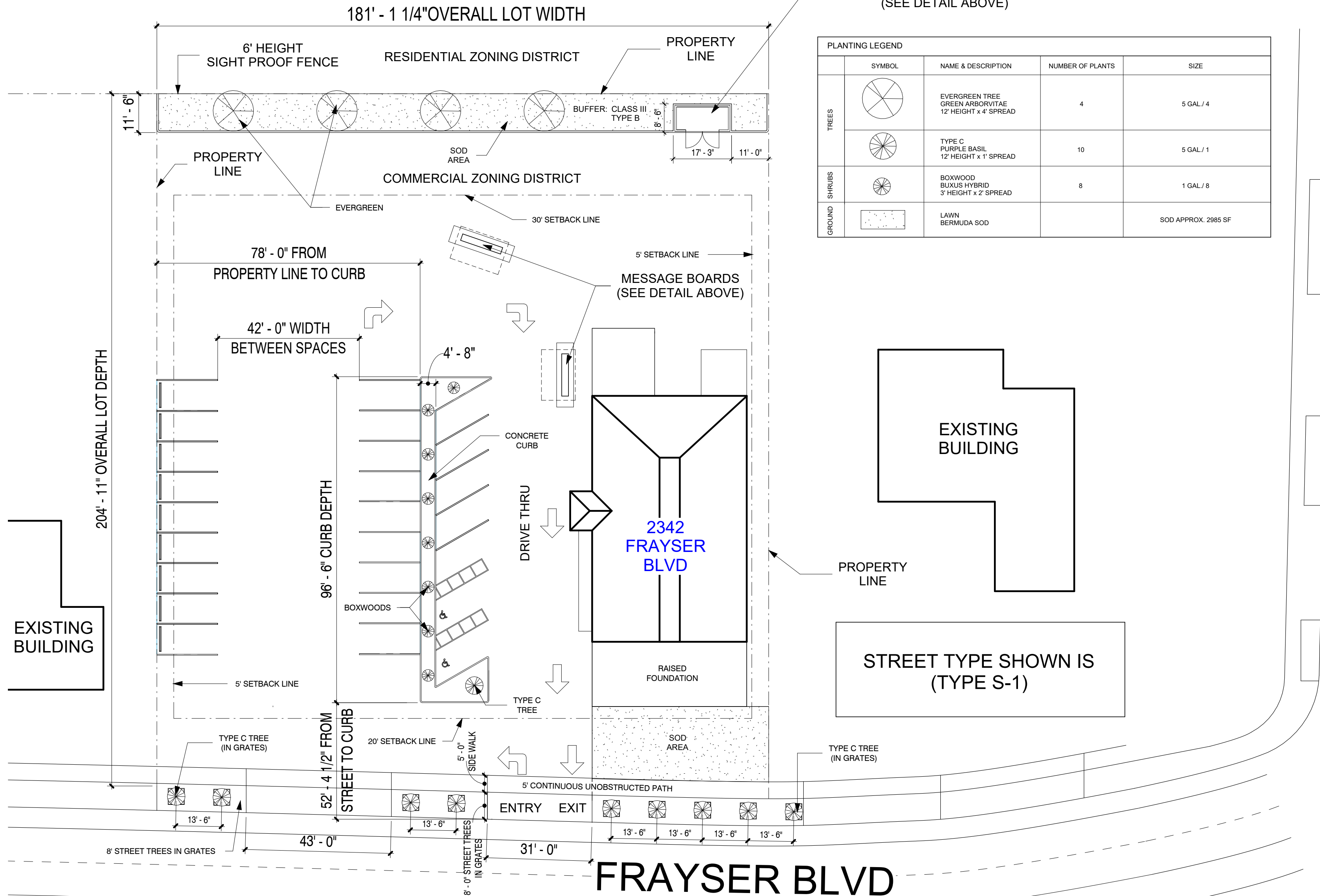


2 PARKING DETAILS
3/32" = 1'-0"

3 DUMPSTER ENCLOSURE
3/16" = 1'-0"

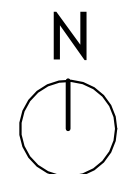
DUMPSTER ENCLOSURE LOCATION
(SEE DETAIL ABOVE)

PLANTING LEGEND				
	SYMBOL	NAME & DESCRIPTION	NUMBER OF PLANTS	SIZE
TREES		EVERGREEN TREE GREEN ARBORVITAE 12' HEIGHT x 4' SPREAD	4	5 GAL / 4
		TYPE C PURPLE BASIL 12' HEIGHT x 1' SPREAD	10	5 GAL / 1
SHRUBS		BOXWOOD BUXUS HYBRID 3' HEIGHT x 2' SPREAD	8	1 GAL / 8
GROUND		LAWN BERMUDA SOD		SOD APPROX. 2985 SF



MOUNTAIN TERRACE ST

1 SITE PLAN
3/64" = 1'-0"



WALKIN DESIGNS, LLC, DOES NOT PRACTICE STRUCTURAL ENGINEERING, THEREFORE, ALL BEAMS, CONNECTORS, SOLID BEARING LOCATION, AND ALL OTHER STRUCTURAL ITEMS ARE TO BE REVIEWED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER. WALKIN DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF PRESENTED BUILDING. BUILDER RESPONSIBLE FOR REVIEWING AND CONFIRMING ALL INFORMATION NEEDED IS PRESENT. FOLLOW LOCAL, CODES AND COMMON PRACTICES. REPRODUCTION OF ANY PORTION OF THIS DRAWING IS STRICTLY PROHIBITED. THESE DRAWINGS ARE TO BE USED IN CONSTRUCTION OF ONLY ONE RESIDENCE.

BUILDING DATA

(DINING LOAD): 53
 (KITCHEN LOAD): 7
 OCCUPANT LOAD (TOTAL): 60
 (According to Chapter 10 of International Building Code 2018)

RESTROOMS REQUIRED : 2
 RESTROOMS (TOTAL) : 2
 (According to Chapter 29 of International Building Code 2018)

EXIT(S) REQUIRED : 3
 EXITS (TOTAL) : 3
 (According to Chapter 10 of International Building Code 2021)

BUILDING DATA CONT.

BUILDING: Group B
 NEW BUILDING AREA 3,434 SqFt

USE & CONSTRUCTION :
 OCCUPANCY CLASSIFICATION: A-2
 (According to Chapter 3 of International Building Code 2021)

CONSTRUCTION TYPE: V-A
 (According to Chapter 6 of International Building Code 2021)

MAXIMUM HEIGHT/No of FLOORS: 65 FT
 2 Stories Above
 (According to Chapter 5 of International Building Code 2021)

ALLOWABLE AREA: 9,500 SF
 (According to Chapter 5 of International Building Code 2021)

FIRE SPRINKLERS: SPRINKLERS REQUIRED (EXISTING)

BUILDING DATA CONT.

BUILDING: Group B

ACCESSIBILITY & EGRESS :
 PARKING SPACES: 30
 (According to Chapter 5 of International Code Council 2017)

ACCESSIBLE PARKING : 2
 (According to Chapter 5 of International Code Council 2017)

BUILDING HEIGHT (DINING AREA): 18'-0" FT
 BUILDING HEIGHT (MAIN BODY) 16'-9" FT

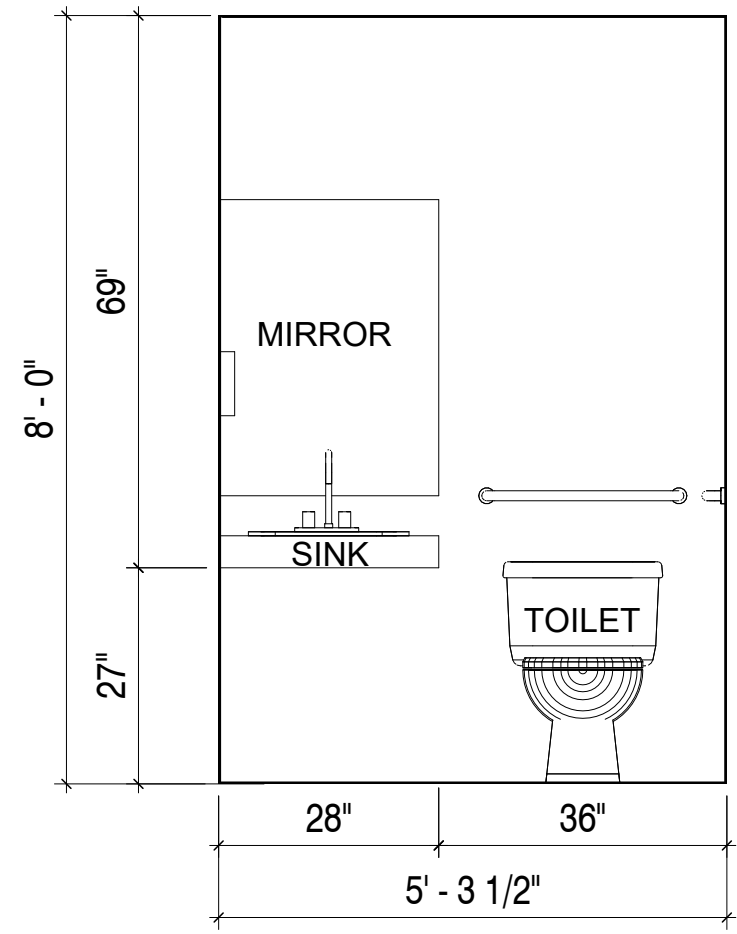
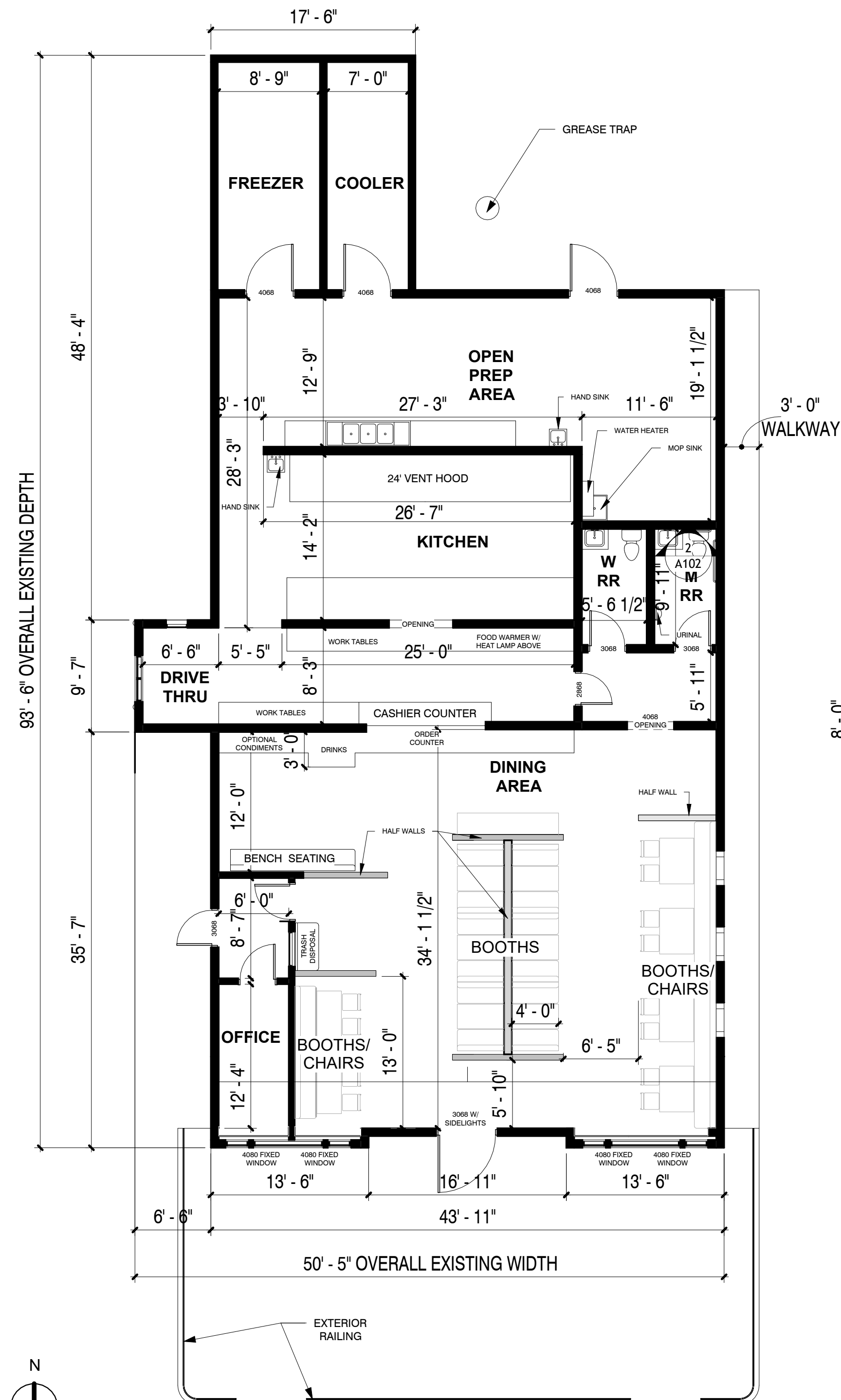
OCCUPANT LOAD : 60

GOVERNING CODES

BUILDING CODE 2021 International Building Code with Local Amendments
 ELECTRICAL CODE 2020 National Electric Code with Local Amendments
 MECHANICAL CODE 2021 International Mechanical Code with Local Amendments
 PLUMBING CODE 2021 International Plumbing Code with Local Amendments
 GAS CODE 2021 International Fuel Gas Code with Local Amendments

NOTE!
 ALL NEWLY CONSTRUCTED WALLS CONSIST OF THE FOLLOWING:
 EXTERIOR : 2x6's
 INTERIOR : 2x4's

NOTE!
 BUILDING HAS ALREADY OBTAINED CERTIFICATE OF OCCUPANCY AND THE CHANGES MADE ARE TO COMPLY WITH MEMPHIS 3.0.



② MENS/WOMENS RESTROOM ELEVATION
 1/2" = 1'-0"

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OFFICE
 6000 W Poplar Ave
 Suite 250
 Memphis, TN

PHONE
 901.264.3988
 901.618.8949

EMAIL
 walkindesignteam@gmail.com

PROJECT TYPE:
 COMMERCIAL

PLAN NUMBER:
 SUP 2026-003

DESIGNED FOR:
 KING CHOW

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2342 FRAYSER BLVD
 MEMPHIS, TN 38127

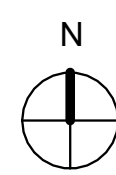
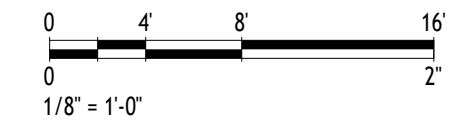
FLOOR PLAN

4/9/2026 12:01:11 PM

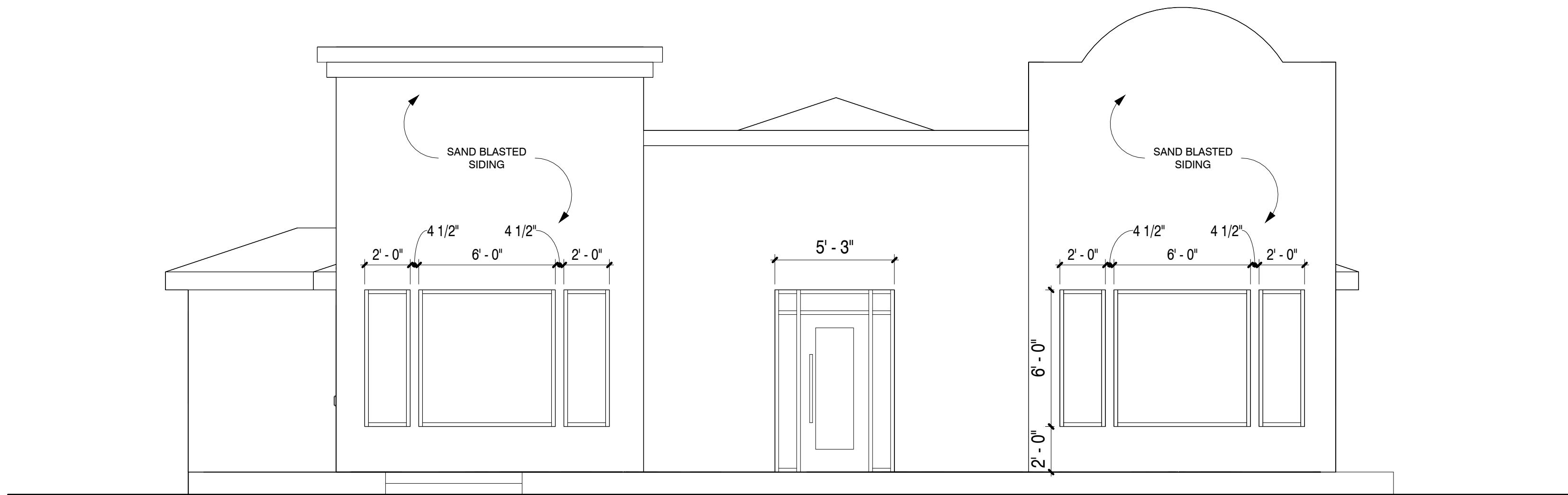
A102

As indicated

① PROPOSED PLAN
 1/8" = 1'-0"



WALKIN DESIGNS, LLC, DOES NOT PRACTICE STRUCTURAL ENGINEERING, THEREFORE, ALL BEAMS, CONNECTORS, SOLID BEARING LOCATION, AND ALL OTHER STRUCTURAL ITEMS ARE TO BE REVIEWED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER. WALKIN DESIGNS, LLC, ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF PRESENTED BUILDING. BUILDER RESPONSIBLE FOR REVIEWING AND CONFIRMING ALL INFORMATION NEEDED IS PRESENT. FOLLOW LOCAL CODES AND COMMON PRACTICES. REPRODUCTION OF ANY PORTION OF THIS DRAWING IS STRICTLY PROHIBITED. THESE DRAWINGS ARE TO BE USED IN CONSTRUCTION OF ONLY ONE RESIDENCE.



4 FRONT ELEVATION
1/4" = 1'-0"



Memphis City Council Summary Sheet

(Revised January 28, 2026)

1. Description of the Item (Resolution, Ordinance, etc.)

Ordinance for creation of the 33 Beale Street Tourism Development Zone Tourism Surcharge and designation of Qualified Public Use Facility.

2. Initiating Party (e.g. Public Works, at request of City Council, etc.)

Downtown Memphis Commission (DMC) / Central City Revenue Finance Corporation (CCRFC)

3. State whether this is a change to an existing ordinance or resolution, if applicable.

This would be a new ordinance. It would allow the Hyatt Centric Hotel at 33 Beale Street to assess a tourism surcharge (5%) on all qualified goods and services in the hotel to fund reinvestment and improvements of the property.

4. State whether this will impact specific council districts or super districts.

The Hyatt Centric Hotel is located in District 6, Super District 8.

5. State whether this requires a new contract, or amends an existing contract, if applicable.

This would require a new agreement between CCRFC and the Hyatt Centric ownership group.

6. State whether this requires an expenditure of funds/requires a budget amendment.

No.

7. If same night minutes are requested, state the reason for the urgency.

No.

ORDINANCE NO. _____

ORDINANCE FOR DESIGNATION OF QUALIFIED PUBLIC USE FACILITY, CREATION OF THE 33 BEALE STREET TOURISM DEVELOPMENT ZONE TOURISM SURCHARGE AND OTHERWISE PROVIDING WITH RESPECT TO THE FOREGOING

WHEREAS, Beale Street is one of America's premier tourist destinations, a major employer in the Downtown Memphis community and a key economic driver of the City of Memphis; and

WHEREAS, Memphis Center City Revenue Finance Corporation ("**CCRFC**") is the fee owner of certain real property located at 33 Beale Street and 245 South Front Street, Memphis, Tennessee 38103 (tax parcels nos. 00209900002C and 00209900008) ("**Hotel Site**"); and

WHEREAS, CCRFC has leased to 33 Beale Street Hotel Company, LLC, a Delaware limited liability company ("**Hotel Owner**"), the Hotel Site and the improvements thereon pursuant to that certain Amended and Restated Lease Agreement dated as of August 22, 2025 (as amended, the "**PILOT Lease**"), under which Hotel Owner has the right to acquire the Hotel Site and the improvements thereon at any time; and

WHEREAS, the Hotel Site includes a hotel with 363 rooms, meeting and event space, commercial space, including ancillary dining and retail space, and related amenities ("**33 Beale Hotel**"); and

WHEREAS, Hotel Owner proposes to make capital investments totaling more than Seventy Six Million Dollars (\$76,000,000) over the next thirty (30) years for the consolidation of the hotels located at 33 Beale Street and 245 South Front Street to create the 33 Beale Hotel and the redevelopment and long-term preservation of the 33 Beale Hotel (the "**33 Beale Hotel Project**"); and

WHEREAS, TCA §67-4-3002 authorizes the City of Memphis to designate certain projects as "Qualified Public Use Facilities", including without limitation full-service hotels with not less than two hundred fifty (250) rooms and related retail, commercial, and parking space that are located in a tourism development zone; and

WHEREAS, TCA §67-4-3003 authorizes the City of Memphis to charge a 5% Tourism Surcharge on goods and services used by visitors at a qualified public use facility and other related facilities (the "**Tourism Surcharge**"); and

WHEREAS, the 33 Beale Hotel Project is located in the portion of Downtown Memphis designated as a tourism development zone pursuant to the Convention Center

and Tourism Development Financing Act of 1998, which is codified at TCA §7-88-101 et seq., (the "TDZ Act"); and

WHEREAS, the City of Memphis administration finds that it is wise, necessary, and advisable to designate the 33 Beale Hotel Project as a "Qualified Public Use Facility" within the meaning of the TDZ Act as codified at TCA § 67-4-3002(7); and

WHEREAS, the City of Memphis administration finds that it is wise, necessary, and advisable to seek authorization from this Council to impose the Tourism Surcharge within the 33 Beale Hotel Project; and

WHEREAS, to enact the Tourism Surcharge within the 33 Beale Hotel Project, the City of Memphis administration has proposed the ordinance set forth below (the "Tourism Surcharge Ordinance"); and

WHEREAS, the City administration desires that the Council (i) approve the Tourism Surcharge Ordinance, and (ii) otherwise provide with respect to the foregoing.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Memphis as follows:

1. Sec. ___ - ___ -1. **Designation as Qualified Public Use Facility**

The hotel at the address municipally known as 33 Beale Street and 245 South Front Street, Memphis, Tennessee, containing not less than two hundred fifty (250) rooms, and related retail, commercial, and parking space (the "33 Beale QPUF"), is hereby designated as a qualified public use facility as described in T.C.A. title 67, chapter 4, part 30 (as amended from time to time, hereinafter in this chapter called the "Act").

Sec. ___ - ___ -2. **Creation of District**

There is created the 33 Beale Surcharge District (the "District") in accordance with the Act.

Sec. ___ - ___ -3. **District Boundaries**

The District created by this chapter shall be comprised of the area located in the city within the following boundaries:

Approximately 3.254 acres known as 33 Beale as shown on Plat of record in Plat Book 279, Page 14 in the Register's Office of Shelby County, Tennessee consisting of:

(Phase II) Final Plat – PD 18-10, Phase Two, Hyatt Centric at One Beale as shown on Plat of record in Plat Book 281, Page 3 in the Register's Office of Shelby County, Tennessee (approximately 2.26 acres).

Municipal Address: 33 Beale Street (0 Wagner Place)
Tax Parcel ID: 002099 00002C

(Phase III) Final Plat – PD 18-10, Phase Three, as shown on Plat of record in Plat Book 288, Page 24 in the Register's Office of Shelby County, Tennessee (approximately 0.654 acres) consisting of:

Parcel 1. Hvatt 2 Parcel:

BEING A SURVEY OF PART OF PARCEL I, PART OF PARCEL II AND PART OF PARCEL III OF THE FRONT STREET DEVCO, LLC PROPERTY AS RECORDED IN INSTRUMENT 16117584, ALSO BEING PART OF PHASE III OF THE PROPERTY SHOWN ON THE OUTLINE PLAN FOR THE ONE BEALE P.D. AMENDED AS RECORDED IN PLAT BOOK 279, PAGE 14, BOTH OF RECORD IN THE SHELBY COUNTY REGISTER'S OFFICE, BEING LOCATED IN MEMPHIS, SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FRONT STREET (80.00 FOOT WIDE PUBLIC RIGHT-OF-WAY) WITH THE NORTH RIGHT-OF-WAY LINE OF DR. M.L. KING JR. AVENUE (60.00 FOOT WIDE PUBLIC RIGHT-OF-WAY); THENCE N56°56'01"W ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 108.00 FEET TO THE POINT OF BEGINNING (N 318717.16 – E 755672.60); THENCE N56°56'01"W AND CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 30.00 FEET TO A POINT; THENCE N33°03'59"E ALONG A LINE THAT IS 138.00 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 38.00 FEET TO A POINT; THENCE N56°56'01"W ALONG A LINE THAT IS 38.00 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 20.17 FEET TO A POINT; THENCE N33°03'59"E ALONG A LINE THAT IS 158.16 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 13.83 FEET TO A POINT; THENCE N56°56'01"W ALONG A LINE THAT IS 51.83 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 41.83 FEET TO A POINT, SAID POINT LIES ON THE EAST RIGHT-OF-WAY LINE OF WAGNER PLACE (50.00 FOOT WIDE PUBLIC RIGHT-OF-WAY); THENCE N33°03'59"E ALONG THE EAST RIGHT-OF-WAY LINE

OF SAID WAGNER PLACE (SAID EAST RIGHT-OF-WAY LINE BEING 200.00 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SOUTH FRONT STREET) A DISTANCE OF 26.67 FEET TO A POINT; THENCE S56°56'01"E ALONG A LINE THAT IS 78.50 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 54.00 FEET TO A POINT; THENCE N33°03'59"E ALONG A LINE THAT IS 146.00 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 31.50 FEET TO A POINT; THENCE N56°56'01"W ALONG A LINE THAT IS 110.00 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 1.00 FOOT TO A POINT; THENCE N33°03'59"E ALONG A LINE THAT IS 147.00 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 56.00 FEET TO A POINT; THENCE S56°56'01"E ALONG A LINE THAT IS 166.00 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 147.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET; THENCE S33°03'59"W ALONG THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 105.00 FEET TO A POINT; THENCE N56°56'01"W ALONG A LINE THAT IS 61.00 FEET NORTH OF AND PARALLEL TO THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 108.00 FEET TO A POINT; THENCE S33°03'59"W ALONG A LINE THAT IS 108.00 FEET WEST OF AND PARALLEL TO THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 61.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 19,008 SQUARE FEET OR 0.436 ACRES.

Out Parcel 1:

BEING A SURVEY OF PART OF PHASE III OF THE PROPERTY SHOWN ON THE OUTLINE PLAN FOR THE ONE BEALE P.D. AMENDED AS RECORDED IN PLAT BOOK 279, PAGE 14, AT THE SHELBY COUNTY REGISTER'S OFFICE, BEING LOCATED IN MEMPHIS, SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FRONT STREET (80.00 FOOT WIDE PUBLIC RIGHT-OF-WAY) WITH THE NORTH RIGHT-OF-WAY LINE OF DR. M.L. KING JR. AVENUE (60.00 FOOT WIDE PUBLIC RIGHT-OF-WAY); THENCE N56°56'01"W ALONG THE NORTH RIGHT-OF-

WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 108.00 FEET TO THE WESTERN MOST SOUTHEAST CORNER OF THE PROPERTY SHOWN ON THE FINAL PLAT FOR PHASE 3 OF THE ONE BEALE PD AS RECORDED IN PLAT BOOK 288, PAGE 24; THENCE N33°03'59"E ALONG THE WESTERN MOST EAST LINE OF SAID PHASE 3 A DISTANCE OF 61.00 FEET TO A POINT ON A SOUTH LINE OF SAID PHASE 3; THENCE S56°56'01"E ALONG A SOUTH LINE OF SAID PHAS3 3 A DISTANCE OF 108.00 FEET TO THE NORTHERN MOST SOUTHEAST CORNER OF SAID PHASE 3, SAID POINT LIES ON THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET; THENCE S33°03'59"W ALONG THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH FRONT STREET A DISTANCE OF 61.00 FEET TO THE TO THE POINT OF BEGINNING AND CONTAINING 6,588 SQUARE FEET OR 0.151 ACRES.

Out Parcel 2:

BEING A SURVEY OF PART OF PHASE III OF THE PROPERTY SHOWN ON THE OUTLINE PLAN FOR THE ONE BEALE P.D. AMENDED AS RECORDED IN PLAT BOOK 279, PAGE 14, AT THE SHELBY COUNTY REGISTER'S OFFICE, BEING LOCATED IN MEMPHIS, SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SOUTH FRONT STREET (80.00 FOOT WIDE PUBLIC RIGHT-OF-WAY) WITH THE NORTH RIGHT-OF-WAY LINE OF DR. M.L. KING JR. AVENUE (60.00 FOOT WIDE PUBLIC RIGHT-OF-WAY); THENCE N56°56'01"W ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 138.00 FEET TO THE EASTERN MOST SOUTHWEST CORNER OF THE PROPERTY SHOWN ON THE FINAL PLAT FOR PHASE 3 OF THE ONE BEALE PD AS RECORDED IN PLAT BOOK 288, PAGE 24, SAID POINT BEING THE POINT OF BEGINNING; THENCE N56°56'01"W AND CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID DR. M.L. KING JR. AVENUE A DISTANCE OF 62.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WAGNER PLACE (50.00 FOOT WIDE PUBLIC RIGHT-OF-WAY); THENCE N33°03'59"E ALONG THE EAST RIGHT-OF-WAY LINE OF SAID WAGNER PLACE A DISTANCE OF 51.83 FEET TO THE NORTHERN MOST SOUTHWEST CORNER OF SAID PHASE 3 (PLAT BOOK 288, PAGE 24); THENCE ALONG THE SOUTHWESTERN PORTION OF SAID PHASE 3 THE FOLLOWING CALLS AND DISTANCES:

S56°56'01"E - 41.83 FEET;

S33°03'59"W – 26.67 FEET;
S56°56'01"E – 20.17 FEET;
S33°03'59"W – 38.00 FEET

TO THE POINT OF BEGINNING AND CONTAINING 2,935 SQUARE FEET OR 0.067 ACRES.

Municipal Address: 245 South Front Street, Memphis, Tennessee
Tax Parcel ID: 002099 00008

Sec. ___ - ___-4 **Surcharge Assessment**

The making of Sales (as such term is defined in the Act) by engaging in any Business (as such term is defined in the Act), except for those businesses exempt under T.C.A. title 67, chapter 4, part 712, in the District is declared to be a privilege. All such Sales shall be subject to the surcharge assessment provided in this Chapter and the City hereby levies such surcharge on all Sales.

Sec. ___ - ___-5 **Surcharge Assessment Rate**

The surcharge levied by this section shall be equal to five percent (5%) of the Sales Price (as such term is defined in the Act).

Sec. ___ - ___-6 **Mandatory Registration, Filing of Returns, Payment of Surcharge and Licensing**

All persons carrying on Business (as such term is defined by the Act) in the District, and all person who may hereafter carry on Business in the District, shall register with the City Treasurer for the purpose of assessment and collection of the surcharge. All persons so registered shall file a return detailing Sales for the prior month and surcharge collected on account of such Sales on or before the twentieth (20th) day of each calendar month and shall remit all surcharge collected during such month, together with any delinquent payments of surcharge, with such return. Each person who files a return and remits the appropriate amount of surcharge shall be granted a license which such person shall display within their place of Business. The City Treasurer is hereby authorized and directed to develop the forms for registration and filing monthly returns, as well as rules and regulations regarding the filing of the same.

Sec. ___ - ___-7 **Delinquent Payments**

Any nonpayment or delinquent payment of any surcharge shall be subject to the rights and remedies described in Chapter 5-24 of the Memphis City Code.

Sec. ___ - ___-8 **Allocation and Use of Revenues**

All revenues received by the city as a result of the surcharge, except for the reasonable expenses of the City Treasurer incurred as a result of its administrative duties under this chapter which shall not exceed one percent (1%) of the revenues, shall be designated for, and allocated to the payment of, the cost of the 33 Beale Hotel QPUF, including, without limitation, all debt issued or incurred in the consolidation of the hotels located at 33 Beale Street and 245 South Front Street to create the 33 Beale Hotel QPUF and the redevelopment and long-term preservation of the 33 Beale Hotel QPUF, including principal, interest and other fees and charges.

Sec. ___ - ___-9 Remittance of Revenues

On or before the fifteenth (15th) day of each month, the City Treasurer shall remit all revenues received during the prior month, less the aforescribed administrative fee, to CCRFC or its assignee. CCRFC, or its assignee, is hereby directed to deposit such revenues in accordance with the Act and any agreements governing the payment or reimbursement of costs incurred, or debt issued or incurred to finance or refinance costs, in connection with the development of the 33 Beale Street Hotel QPUF.

Sec. ___ - ___-10 Termination of Surcharge

The surcharge shall continue until terminated pursuant to the terms of the Act.

2. All actions heretofore undertaken by the Mayor or his designee and other officials, employees, attorneys and agents of the City in furtherance of the intent of this resolution, and of the documents authorized by this resolution, are hereby ratified, confirmed and approved.

3. The Mayor or his designee and other appropriate officials of the City are hereby authorized to enter into such agreements, and they and other appropriate employees of the City are hereby authorized to execute such certificates or other documents and take such other actions, as may be necessary or appropriate to carry out the intent of this resolution.

4. This Ordinance shall take effect from and after its adoption, the welfare of the City of Memphis requiring it.

Sponsor: _____

AN ORDINANCE APPROVING A STREET NAME CHANGE TO CHANGE THE NAME OF ALSTON AVENUE TO METAL MUSEUM DRIVE BETWEEN THE EH CRUMP ROUNDABOUT AND METAL MUSEUM DRIVE.

(CASE SNC 2026-002)

WHEREAS, Carissa Hussong filed an application with the Memphis and Shelby County Division of Planning and Development to change the name of Street from Alston Avenue to Metal Museum Drive,

WHEREAS, The proposed street name change would have minimal impact on addressing, as only one property along this section is addressed off Alston Avenue, which is owned by the Metal Museum. The other adjacent properties are addressed off Cotton Gin Place and West Illinois Avenue, and would not be affected by the proposed renaming; and

WHEREAS, The Memphis and Shelby County Land Use Control Board on April 09, 2026, concerning a proposed street name change, recommended approval of the requested street name changes subject to two conditions as follows:

L.U.C.B CONDITIONS:

1. The street name change shall take effect sixty (60) days after approval by the Memphis City Council.
2. The applicant shall be responsible for replacing all street name sign blades affected by this change and for all applicable fees charged by Memphis Light, Gas and Water Division for address re-assignments.
3. The Address Assignment Department of the Memphis Light, Gas and Water Division shall notify the current property owners alongside the roadway segment of the street name change and its effective date.

WHEREAS, on April 09, 2026, the Memphis and Shelby County Land Use Control Board at its regularly scheduled meeting considered said application and recommended approval of this request.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, based upon evidence presented at this public hearing, the Memphis City Council concludes that there is merit in renaming Alston Avenue to Metal Museum Drive in accordance with the attached map

(SNC 2026-002)

BE IT FURTHER RESOLVED, THAT, This street name change ordinance shall take effect on the date determined by the Address Assignment Department of Memphis Light, Gas and Water (MLGW) and after proper notification by MLGW to affected property owners and then signed by the Chairman of the Council, certified and delivered to the Office of the Mayor in writing by the Comptroller, and become effective as otherwise provided by the law.

THAT, the House Numbers Section of the Memphis Light, Gas and Water Division shall notify the current adjacent property owners of the street name change to “**Metal Museum Drive**” and its effective date.

Aerial



ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**



RESOLUTION approving the engineering plans for:
Tournament Trails Center P.D. (COUNTY)
and accepting Bond as security

WHEREAS, TTL Development, LLC., is the Developer of a certain property in the present limits of Shelby County, as shown on the engineering plans, located on the north side of Winchester Road, approximately 2,500 ft east of the Commerce Road and Winchester Road intersection, in Shelby County, Tennessee.

and

WHEREAS, the developer desires to develop the property reflected on the engineering plans;

and

WHEREAS, attached hereto is a standard improvement contract entered into by and between **TTL Development, LLC.,** and the **City of Memphis,** covering the public improvements as a part of developing the property; and

WHEREAS, the terms and conditions of the contract are in accordance with the policies of the City of Memphis for developing such a project; and

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MEMPHIS, TENNESSEE, that the engineering plans for **Tournament Trails Center P.D. (COUNTY)** are hereby approved.

BE IT FURTHER RESOLVED that the proper official be and are hereby authorized to execute the attached standard improvement contract, accepting Merchants National Bonding, Inc., **Performance Bond No. 101830469** in the amount of **\$ 112,500.00,** as project security.



RESOLUTION approving the final plat for:
Oaklawn Estates P.D. [PD 04-315cc], Phase 3
and accepting Bond as security

WHEREAS, **Oaklawn Estates, LLC.**, is the Developer of a certain property in the present limits of the Shelby County, as indicated on the final plat, located 3300' N of Latting Woods Road and Roland Road, in Shelby County, Tennessee.

and

WHEREAS, the developer desires to develop the property reflected on the engineering plans; and

WHEREAS, attached hereto is a standard improvement contract entered into by and between **Oaklawn Estates, LLC.**, and the City of Memphis covering the public improvements as a part of developing the property; and

WHEREAS, the terms and conditions of the contract are in accordance with the policies of the City of Memphis for developing such a project.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the final plat for **Oaklawn Estates P.D. [PD 04-315cc], Phase 3** is hereby approved.

BE IT FURTHER RESOLVED, that the proper official be and are hereby authorized to execute the attached standard improvement contract, accepting, **SureTec Performance Bond No. 4449754** in the amount of **\$ 213,500.00**, as project security.



RESOLUTION accepting public improvements for
Fill-n-Go South 3rd St. (SUP 20-12) [CR#5475]
and releasing Bond

WHEREAS, **ISRAA, Inc.**, is the Developer of certain property within the in the present limits of the City of Memphis, as indicated on the final plat, located on the west side of Third Street approximately 900 feet north of Peebles Street in Memphis, Tennessee Tennessee.

and

WHEREAS, all of the public improvements, required by the Standard Improvement Contract for the project, are completed;

and

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the engineering plans for **Fill-n-Go South 3rd St. (SUP 20-12) [CR#5475]**, and the completion of the public improvements therein, are and the same, are hereby accepted by the City.

BE IT FURTHER RESOLVED, that the **Performance Bond No. 2362026** in the amount of **\$ 101,600.00**, and currently held as project security, **is hereby ordered released.**



RESOLUTION engineering plans for:
Fill-N-Go South Third (SUP 20-12) [2025],
accepting Bond as security

WHEREAS, **ISRAA, Inc.**, is the Developer of a certain property within the present limits of the City of Memphis, as reflected on the plat and located at the west side of South Third Street, approximately 900 feet north of Peebles Street, in Memphis, Tennessee.

and

WHEREAS, the developer desires to develop the property reflected on the engineering plans;

and

WHEREAS, this improvement contract is replacing the previous **CR#5409 - Fill-N-Go S. Third** approved June 22, 2022 and now expired.

WHEREAS, attached hereto is a standard improvement contract entered into by and between **ISRAA, Inc.**, and the City of Memphis covering the public improvements as a part of developing the property; and

WHEREAS, the terms and conditions of the contract are in accordance with the policies of the City of Memphis for developing such a project.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the engineering plans for **Fill-N-Go South Third (SUP 20-12) [2025]** are hereby approved.

BE IT FURTHER RESOLVED, that the proper official be and are hereby authorized to execute the attached standard improvement contract, accepting, **Performance Bond No. 2362026** in the amount of **\$101,600.00**, as project security, replacing and releasing Regions Bank **Letter-of-Credit No. 55110285**.

CR# 5475

I hereby certify that the foregoing is a true copy and document was adopted, approved by the Council of the City of Memphis in regular session on

Date JUN 10 2025

 Valerie C. Sripes
Deputy Comptroller-Council Records

Eng.
#9



RESOLUTION approving **Supplemental Agreement #1** for:
Memphis Brooks Museum of Art [CR#5447]
and accepting Bond as security

WHEREAS, **Memphis Brooks Museum of Art**, is the Developer of a certain property within the present limits of the City of Memphis, located at 55 South Front Street in Memphis, Tennessee.

and

WHEREAS, the developer desires to develop the property reflected on the engineering plans;

and

WHEREAS, attached hereto is Supplemental Agreement #1 to the standard improvement contract, **Memphis Brooks Museum of Art [CR#5447]**, entered into agreement on September 12, 2023 by and between **Memphis Brooks Museum of Art** and the City of Memphis, covering the revisions in public improvements as a part of developing the property, and extending existing contract to June 30, 2028;

and

BE IT FURTHER RESOLVED that the proper official be and are hereby authorized to execute the attached standard improvement contract, accepting, in-lieu-of bond, First Horizon Bank, Cashier's Check No. **735008659** in the amount of **\$ 731,300.00**, as security.

WHEREAS, the terms and conditions of the contract are in accordance with the policies of the City of Memphis for developing such a project.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the **Supplemental Agreement #1** for **Memphis Brooks Museum of Art [CR#5447]** is hereby approved.



RESOLUTION approving the Engineering plans for:
Brooks Museum
and accepting security in lieu of Bond for project

WHEREAS, **Memphis Brooks Museum of Art**, is the Developer of a certain property in the present limits of the City of Memphis, as shown on the engineering plans, and located at 55 South Front Street, in Memphis, Tennessee.

and

WHEREAS, the developer desires to develop the property reflected on the engineering plans;

and

WHEREAS, attached hereto is a standard improvement contract entered into by and between **Memphis Brooks Museum of Art**, and the City of Memphis covering the public improvements as a part of developing the property; and

WHEREAS, the terms and conditions of the contract are in accordance with the policies of the City of Memphis for developing such a project.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the engineering plans for **Brooks Museum** are hereby approved.

BE IT FURTHER RESOLVED, that the proper official be and are hereby authorized to execute the attached standard improvement contract and accept **First Horizon Bank, Letter of Credit No. S233212**, in the amount of **\$300,300.00**, in-lieu-of Bond, as security for project

CR-5447

I hereby certify that the foregoing is a true copy and document was adopted, approved by the Council of the City of Memphis in regular session on

Date SEP 12 2023

Valerie C. Sripes
Deputy Comptroller-Council Records

19.
6



Memphis City Council Summary Sheet

(Revised January 28, 2026)

1. Description of the Item (Resolution, Ordinance, etc.)

A RESOLUTION TO ACCEPT A DONATION IN THE AMOUNT OF \$90,692.98 FROM THE ELOISE BISHOP IRREVOCABLE TRUST FOR THE MEMPHIS ANIMAL SHELTER, TO AUTHORIZE EXPENDITURES FOR HEARTWORM TREATMENT, ADOPTION SUBSIDIES, AND RELATED SERVICES FOR SHELTER ANIMALS.

2. Initiating Party (e.g. Public Works, at request of City Council, etc.)

MAS

3. State whether this is a change to an existing ordinance or resolution, if applicable.

Not Applicable

4. State whether this will impact specific council districts or super districts.

All Districts

5. State whether this requires a new contract, or amends an existing contract, if applicable.

Spending the donation will not require a new contract

6. State whether this requires an expenditure of funds/requires a budget amendment.

Accepting the donation requires a budget amendment

7. If same night minutes are requested, state the reason for the urgency.

Yes, same night minutes are requested to help facilitate adoptions to provide some relief to persistent overcrowding at the shelter

G211



A RESOLUTION TO ACCEPT A DONATION IN THE AMOUNT OF \$90,692.98 FROM THE ELOISE BISHOP IRREVOCABLE TRUST FOR THE MEMPHIS ANIMAL SHELTER, TO AUTHORIZE EXPENDITURES FOR HEARTWORM TREATMENT, ADOPTION SUBSIDIES, AND RELATED SERVICES FOR SHELTER ANIMALS.

WHEREAS, the Eloise Bishop Irrevocable Trust (the "Donor") has offered a donation in the amount of Ninety Thousand Six Hundred Ninety-Two Dollars and Ninety-Eight Cents (\$90,692.98) to the Memphis Animal Shelter ("MAS") to support programs for heartworm-positive dogs and services for shelter animals

WHEREAS, MAS will use the donated funds to cover heartworm treatments for heartworm-positive dogs adopted from MAS, to reduce financial barriers to adoption, and to increase positive outcomes for heartworm-positive dogs by facilitating life-saving adoptions and shortening shelter length of stay; and

WHEREAS, acceptance and use of these funds will directly benefit the citizens of Memphis by lowering adoption costs, improving access to care for heartworm-positive dogs, increasing the number of dogs that can safely transition into permanent homes, and thereby advancing public health and community welfare; and

WHEREAS, it is necessary and appropriate to accept this donation, to amend the Fiscal Year 2026 budget to reflect the receipt of these funds, and to authorize MAS and appropriate City officials to expend the funds consistent with the Donor's intended purposes and applicable law and City policy.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Memphis that the donation of Ninety Thousand Six Hundred Ninety-Two Dollars and Ninety-Eight Cents (\$90,692.98) from the Eloise Bishop Irrevocable Trust for use by the Memphis Animal Shelter as described above is hereby accepted and the FY2026 Budget is amended accordingly.

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 awarded Contract No. 12660, Drilled Pier Foundation Installation to Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00, and is now recommending to the Council of the City of Memphis that it approves said award as approved; and

WHEREAS, the project scope is to furnish all work including supervision, equipment transportation, materials, labor, and tools to install drilled pier foundations that are too large for in-house crews to install, which also includes tying of rebar, drilling, installation of anchor bolts, and placement of concrete pier foundations on an as needed basis; and

WHEREAS, the Notice to Bidders was advertised using MLGW's Online Bid Notification System, the Daily Memphian, and the Memphis Daily News on December 16, 2025. MLGW solicited 12 bidders and received one (1) bid on February 25, 2026. The lowest and best bid received was from Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00. The term of this contract is one (1) year from the date of the Notice to Proceed with the option of four (4) annual renewals. This award complies with all applicable laws and policies; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved an award of Contract No. 12660, Drilled Pier Foundation Installation to Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards Contract No. 12660, Drilled Pier Foundation Installation to Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00.

The project scope is to furnish all work including supervision, equipment transportation, materials, labor, and tools to install drilled pier foundations that are too large for in-house crews to install, which also includes tying of rebar, drilling, installation of anchor bolts, if needed, and placement of concrete pier foundations on an as needed basis.

The Notice to Bidders was advertised using MLGW's Online Bid Notification System, the Daily Memphian, and the Memphis Daily News on December 16, 2025. MLGW solicited 12 bidders and received one (1) bid on February 25, 2026. The lowest and best bid received was from Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00. The term of this contract is one (1) year from the date of the Notice to Proceed with the option of four (4) annual renewals. This award complies with all applicable laws and policies.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the award of Contract No. 12660, Drilled Pier Foundation Installation to Chris-Hill Construction Company, LLC in the funded amount of \$1,205,865.00, as outlined in the foregoing preamble, is approved and further,

THAT, the President, or his designated representative is authorized to execute the Award.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Scope Change and Increase (*Change No. 2*) to Contract No. 12649 (*formerly Contract No. C2839*), Nutanix Support and Maintenance with CDW Government, LLC to expand the scope and increase the current contract in the funded amount of \$313,532.52, and is now recommending to the Council of the City of Memphis that it approves said scope change and increase as approved; and

WHEREAS, the project scope is to provide a one (1) year renewal support and maintenance subscription for SCADA Nutanix equipment. This contract award was based on the lowest and best bid using the Sealed Bid process; and

WHEREAS, this change is to expand the scope and increase the current contract value to purchase and professionally install additional Nutanix Clusters in the amount of \$313,532.52. The contract term will remain through March 8, 2031. This scope change and increase complies with all applicable laws and policies. The new contract value is \$1,102,569.30; and

NOW THEREFORE BE IT RESOLVED BY THE Council of the City of Memphis, that there be and is hereby approved the Scope Change and Increase (*Change No. 2*) to Contract No. 12649 (*formerly Contract No. C2839*), Nutanix Support and Maintenance with CDW Government, LLC to expand the scope and increase the current contract in the funded amount of \$313,532.52 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Scope Change and Increase (*Change No. 2*) to Contract No. 12649 (*formerly Contract No. C2839*), Nutanix Support and Maintenance with CDW Government, LLC to expand the scope and increase the current contract in the funded amount of \$313,532.52.

The project scope is to provide a one (1) year renewal support and maintenance subscription for SCADA Nutanix equipment. This contract award was based on the lowest and best bid using the Sealed Bid process.

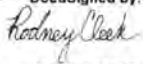
This change is to expand the scope and increase the current contract value to purchase and professionally install additional Nutanix Clusters in the amount of \$313,532.52. The contract term will remain through March 8, 2031. This scope change and increase complies with all applicable laws and policies. The new contract value is \$1,102,569.30.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Scope Change and Increase (*Change No. 2*) to Contract No. 12649 (*formerly Contract No. C2839*), Nutanix Support and Maintenance with CDW Government, LLC to expand the scope and increase the current contract in the funded amount of \$313,532.52, as outlined in the above preamble, is approved; and further

THAT, the President, or his designated representative is authorized to execute the Scope Change and Increase.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D810415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 awarded Contract No. 12645, NERC Consultant to GDS Associates, Inc. in the funded not-to-exceed amount of \$1,980,000.00, and is now recommending to the Council of the City of Memphis that it approves said award as approved; and

WHEREAS, the project scope is to provide Professional Engineering services to MLGW's Electric Engineering and Operations Department and to assist MLGW's ongoing support for the Internal Compliance Program (ICP) for utility operations. These professional consulting activities include process and procedure documentation, implementation, technical studies and evaluations, readiness assessments, and other work deemed necessary for MLGW's ICP; and

WHEREAS, the Request for Qualifications was advertised using MLGW's Online Bid Notification System on September 29, 2025. MLGW solicited 10 firms and received eight (8) qualifications on October 17, 2025. One (1) firm was deemed non-compliant due to failing to respond to all the Critical Infrastructure Protection (CIP) requirements as outlined in the RFQ. Five (5) firms were invited to be interviewed for the Operations and Planning (O&P) Compliance Consultant; of which one (1) declined the invitation. In addition, five (5) firms were invited to be interviewed for the NERC CIP Compliance Consultant. After evaluating the respondents' qualifications and conducting interviews, GDS Associates, Inc. was selected as the most responsive respondent for both the O&P Compliance Consultant and NERC CIP Compliance Consultant. The qualifications were evaluated based on the following criteria: 1) Firm Introduction; 2) Demonstrate the competence and qualifications of the individual who will be directly responsible for the management and delivery of the proposed work; 3) Demonstrate the technical adequacy of the personnel and sub-consultants to be utilized for the proposed work; 5)

Demonstrate the experience of the firm based upon previous work similar to that of the type considered; 6) Demonstrate the success of the firm based upon the record of performance on other projects (both MLGW projects and projects for other entities); and 7) Demonstrate the firm's history of accuracy of cost estimates and ability to perform within budget constraints. The term of this contract is three (3) years from the date of the Notice to Proceed with an option of two (2) annual renewals. This award complies with all applicable laws and policies; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved an award of Contract No. 12645, NERC Consultant to GDS Associates, Inc. in the funded not-to-exceed amount of \$1,980,000.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards Contract No. 12645, NERC Consultant to GDS Associates, Inc. in the funded not-to-exceed amount of \$1,980,000.00.

The project scope is to provide Professional Engineering services to MLGW's Electric Engineering and Operations Department and to assist MLGW's ongoing support for the Internal Compliance Program (ICP) for utility operations. These professional consulting activities include process and procedure documentation, implementation, technical studies and evaluations, readiness assessments, and other work deemed necessary for MLGW's ICP.

The Request for Qualifications was advertised using MLGW's Online Bid Notification System on September 29, 2025. MLGW solicited 10 firms and received eight (8) qualifications on October 17, 2025. One (1) firm was deemed non-compliant due to failing to respond to all of the Critical Infrastructure Protection (CIP) requirements as outlined in the RFQ. Five (5) firms were invited to be interviewed for the Operations and Planning (O&P) Compliance Consultant; of which one (1) declined the invitation. In addition, five (5) firms were invited to be interviewed for the NERC CIP Compliance Consultant. After evaluating the respondents' qualifications and conducting interviews, GDS Associates, Inc. was selected as the most responsive respondent for both the O&P Compliance Consultant and the NERC CIP Compliance Consultant. The qualifications were evaluated based on the following criteria: 1) Firm Introduction; 2) Demonstrate the competence and qualifications of the individual who will be directly responsible for the management and delivery of the proposed work; 3) Demonstrate the technical adequacy of the personnel and sub-consultants to be utilized for the proposed work; 5) Demonstrate the experience of the firm based upon previous work similar to that of the type considered; 6) Demonstrate

the success of the firm based upon the record of performance on other projects (both MLGW projects and projects for other entities); and 7) Demonstrate the firm's history of accuracy of cost estimates and ability to perform within budget constraints. The term of this contract is three (3) years from the date of the Notice to Proceed with an option of two (2) annual renewals. This award complies with all applicable laws and policies.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the award of Contract No. 12645, NERC Consultant to GDS Associates, Inc. in the funded not-to-exceed amount of \$1,980,000.00, as outlined in the foregoing preamble, is approved and further,

THAT, the President, or his designated representative is authorized to execute the Award.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:



C84E2E63D610415...

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Scope Change and Increase (*Change No. 16*) to Contract No. 10332, ABB Software Maintenance with Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to expand the scope and increase the current contract value in the funded amount of \$1,113,362.00, and is now recommending to the Council of the City of Memphis that it approves said scope change and increase as approved; and

WHEREAS, the project scope is to allow Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to provide software maintenance, licensing, and support services for Outage and Distribution Management, Systems Control and Data Acquisition (SCADA), and Inter-control Center Communications Protocol (ICCP) components of ABB's Network Manager Distribution Management System (NM/DMS) software suite. This contract award was selected based on the Sole Source procurement process.

WHEREAS, this change is to expand the scope and increase the contract value to provide the following additional support services for the successful implementation of the MLGW Outage Management System (OMS) Upgrade Project: (1) Additional Nutanix Infrastructure Deployment Services to support the build-out and validation of the production, backup, and development clusters; (2) Additional OMS environment configuration support, including virtual machine creation, network coordination, and system readiness activities beyond the baseline Scope of Work; (3) Expanded testing and migration support associated with the Factory Test System (FTS), database migration, and Site Acceptance Testing (SAT); (4) Additional training and operational readiness support for MLGW technical personnel; and (5) Supplemental engineering support for third-party software integration and stabilization

activities in the funded amount of \$1,083,362.00. Additionally, MLGW is requesting contingency funds in the amount of \$30,000.00 due to volatility in the hardware market. The total funded amount of this scope change and increase is \$1,113,362.00. MLGW needs this expanded effort to ensure the successful delivery and operational readiness of the upgraded OMS platform. The term of the contract will remain through December 31, 2028. This Sole Source scope change and increase complies with all applicable laws and policies. The new contract value is \$7,142,818.53; and

NOW THEREFORE BE IT RESOLVED BY THE Council of the City of Memphis, that there be and is hereby approved the Scope Change and Increase (*Change No. 16*) to Contract No. 10332, ABB Software Maintenance with Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to expand the scope and increase the current contract value in the funded amount of \$1,113,362.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Scope Change and Increase (*Change No. 16*) to Contract No. 10332, ABB Software Maintenance with Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to expand the scope and increase the current contract value in the funded amount of \$1,113,362.00.

The project scope is to allow Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to provide software maintenance, licensing, and support services for Outage and Distribution Management, Systems Control and Data Acquisition (SCADA), and Inter-control Center Communications Protocol (ICCP) components of ABB's Network Manager Distribution Management System (NM/DMS) software suite. The contract award was selected based on the Sole Source procurement process.

This change is to expand the scope and increase the contract value to provide the following additional support services for the successful implementation of the MLGW Outage Management System (OMS) Upgrade Project: (1) Additional Nutanix Infrastructure Deployment Services to support the build-out and validation of the production, backup, and development clusters; (2) Additional OMS environment configuration support, including virtual machine creation, network coordination, and system readiness activities beyond the baseline Scope of Work; (3) Expanded testing and migration support associated with the Factory Test System (FTS), database migration, and Site Acceptance Testing (SAT); (4) Additional training and operational readiness support for MLGW technical personnel; and (5) Supplemental engineering support for third-party software integration and stabilization activities in the funded amount of \$1,083,362.00. Additionally, MLGW is requesting contingency funds in the amount of \$30,000.00 due

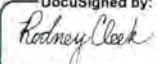
to volatility in the hardware market. The total funded amount of this scope change and increase is \$1,113,362.00. MLGW needs this expanded effort to ensure the successful delivery and operational readiness of the upgraded OMS platform. The term of the contract will remain through December 31, 2028. This Single Source scope change and increase complies with all applicable laws and policies. The new contract value is \$7,142,818.53.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Scope Change and Increase (*Change No. 16*) to Contract No. 10332, ABB Software Maintenance with Hitachi Energy (*formerly ABB Power Training and Development Company, Incorporated*) to expand the scope and increase the current contract value in the amount of \$1,113,362.00, as outlined in the above preamble, is approved; and further

THAT, the President, or his designated representative is authorized to execute the Scope Change and Increase.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:


CB4E2E83D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

RESOLUTION TO APPROVE PAYMENT OF \$2,500,000.00 TO THE CITY OF MEMPHIS FOR PREPAYMENT OF STREETCUT AND PERMITS FEES CHARGED BY THE CITY ENGINEER TO MLGW FOR ROADWAY CONSTRUCTION IN THE CITY OF MEMPHIS RIGHT OF WAYS; AND FURTHER, TO APPROVE THE RECEIPT OF PAYMENT IN THE AMOUNT OF \$2,500,000.00 FROM MLGW TO THE CITY OF MEMPHIS, CITY ENGINEER

WHEREAS, pursuant to City of Memphis Municipal Code of Ordinances, Title 12, Streets, Sidewalks and Public Places, Chapter 12-8, Street Cuts, and Title 22, Division of Engineering, Chapter 22-7, Engineering Administration and Permit Fees, the City of Memphis Engineer is authorized to require a permit and to assess a fee for any street cuts performed by MLGW in the City of Memphis roads, to account for the diminution in value and repair costs associated with such street cut in its right of way;

WHEREAS, pursuant to a Resolution passed by Memphis City Council in 2022, to avoid interruption by the City administration of MLGW's continued work on MLGW facilities located in the right of way, MLGW and the City of Memphis agreed that MLGW could pre-pay its street cut fees, and that the City Engineer would draw down any duly assessed fees from the pre-payment funds; and

WHEREAS, typically MLGW's work within the City of Memphis street right of way is assessed at \$750 per occurrence; and

WHEREAS, on May 20, 2026 the MLGW Board of Commissioners approved a prepayment for Street City Permit Fees to the City of Memphis in the amount of \$2,500,000.00.

NOW, THEREFORE, BE IT RESOLVED by the Memphis City Council that MLGW is hereby authorized to issue payment in the amount of \$2,500,000.00, payable to City of Memphis, for the purpose of prepayment of Street Cut Permit fees associated with MLGW roadway construction work within the City of Memphis right of way.

BE IT FURTHER RESOLVED BY THE COUNCIL OF THE CITY OF MEMPHIS, that the City of Memphis, City Engineer, is authorized to accept funds in the amount of \$2,500,000.00 from MLGW as prepayment of Street Cut Permit Fees.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Vice President of Water and Gas Engineering and Operations presented for consideration of the Board, pre-payment of Street Cut Permit Fees from Memphis Light, Gas and Water Division to the City of Memphis for Street Cut Permits related to MLGW Construction within the City of Memphis Road ROW in the amount of \$2,500,000.00:

WHEREAS, pursuant to City of Memphis Municipal Code of Ordinances, Title 12, Streets, Sidewalks and Public Places, Chapter 12-8, Street Cuts. and Title 22, Division of Engineering, Chapter 22-7, Engineering Administration and Permit Fees, the City of Memphis Engineer is authorized to require a permit and to assess a fee for any street cuts performed by MLGW, to account for the diminution in value and repair costs associated with such street cut; and

WHEREAS, pursuant to a Resolution passed by Memphis City Council in 2022, to avoid interruption by the City administration of MLGW's continued work on MLGW facilities located in the right of way, MLGW and the City of Memphis agreed that MLGW could pre-pay its Street Cut Permit fees, and that the City Engineer would draw down duly assessed fees from the pre-payment funds; and

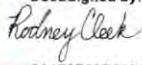
WHEREAS, typically MLGW's work within the City of Memphis street right of way is assessed at \$750 per occurrence.

NOW THEREFORE BE IT RESOLVED by the Board of Light, Gas and Water Commissioners:

THAT, subject to the consent and approval of the Council of the City of Memphis, the Secretary-Treasurer is hereby authorized and directed to have a check or electronic payment issued in the amount of **\$2,500,000.00**, payable to **City of Memphis**, for the purpose of prepayment of Street Cut Permit assessed fees by the City Engineer associated with MLGW roadway

construction work within the City of Memphis right of way.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved a thirty-six-month purchase order for asphalt and is now recommending to the Council of the City of Memphis that it approves said purchase; and

WHEREAS, the asphalt is needed to support ongoing road and pavement repairs. Keeping asphalt on hand allows crews to quickly restore streets providing safer and smoother roads for the public; and

WHEREAS, bids were opened on January 28, 2026. Notice to Bidders was advertised. Three bids were solicited, and two bids were received with the lowest and best complying bidder being the firm of Lehman Roberts Co. This award complies with all applicable laws and policies; and

NOW, THEREFORE BE IT RESOLVED by the Council of the City of Memphis that there be and is hereby approved a thirty-six-month purchase order for asphalt from Lehman Roberts Co. in the amount of \$444,375.00 chargeable to the MLGW 2026 fiscal year budget and the remaining amount of \$885,625.00 chargeable to subsequent budget years as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards a thirty-six-month purchase order for asphalt to Lehman Roberts Co. in the amount of \$1,330,000.00.

The asphalt is needed to support ongoing road and pavement repairs. Keeping asphalt on hand allows crews to quickly restore streets providing safer and smoother roads for the public.

Bids were opened on January 28, 2026. Notice to Bidders was advertised. Three bids were solicited, and two bids were received with the lowest and best complying bidder being the firm of Lehman Roberts Co. This award complies with all applicable laws and policies.

The 2026 budgeted amount for Planned and Emergency Maintenance – Paving and Concrete Restoration is \$31,189,000.00; the amount spent year-to-date is \$1,743,768.28; leaving a balance available of \$29,445,231.72; of which \$444,375.00 will be spent on this purchase in 2026; leaving a balance available of \$29,000,856.72 after award; of which \$885,625.00 will be spent in subsequent budget years as approved.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

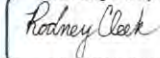
THAT, subject to the consent and approval of the Council of the City of Memphis, awards a purchase order to Lehman Roberts Co. is approved for furnishing:

17,000 tons approximately – Asphalt, small aggregate hot mix;

Totaling \$1,330,000.00; f.o.b. origin; said prices subject to escalation / de-escalation; a 1.6% contingency to cover the escalation of the purchase price, fuel surcharges, and any unforeseen increases from years two through three; the quantity is for estimation purposes only and does not create a commitment for MLGW to purchase any specific minimum or maximum quantity, with actual purchases to be made according to operational needs, not to exceed the approved total expenditure; pickup as needed, terms net 30 days.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:



C84E2E63D610415...

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 awarded Contract No. 12677, Network Maintenance to Logicalis, Inc. in the funded amount of \$729,621.66, and is now recommending to the Council of the City of Memphis that it approves said award as approved; and

WHEREAS, the project scope is to furnish all supervision, labor, transportation, materials and equipment to provide vendor and manufacturer maintenance and support services on MLGW's corporate network at various locations; and

WHEREAS, the Notice to Bidders was advertised using MLGW's Online Bid Notification System, the Daily Memphian, and the Memphis Daily News on February 4, 2026. MLGW solicited eight (8) bidders and received three (3) bids on February 24, 2026. The lowest and best bid received was from Logicalis, Inc. in the amount of \$634,453.62. MLGW is requesting contingency funds in the amount of \$95,168.04 for any unforeseen circumstances that may occur. The total funded amount of this award is \$729,621.66. The term of this contract is one (1) year from the date of the Notice to Proceed with provisions for annual maintenance and support services. This award complies with all applicable laws and policies; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved an award of Contract No. 12677, Network Maintenance to Logicalis, Inc. in the funded amount of \$729,621.66 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards Contract No. 12677, Network Maintenance to Logicalis, Inc. in the funded amount of \$729,621.66.

The project scope is to furnish all supervision, labor, transportation, materials and equipment to provide vendor and manufacturer maintenance and support services on MLGW's corporate network at various locations.

The Notice to Bidders was advertised using MLGW's Online Bid Notification System, the Daily Memphian, and the Memphis Daily News on February 4, 2026. MLGW solicited eight (8) bidders and received three (3) bids on February 24, 2026. The lowest and best bid received was from Logicalis, Inc. in the amount of \$634,453.62. MLGW is requesting contingency funds in the amount of \$95,168.04 for any unforeseen circumstances that may occur. The total funded amount of this award is \$729,621.66. The term of this contract is one (1) year from the date of the Notice to Proceed with provisions for annual maintenance and support services. This award complies with all applicable laws and policies.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the award of Contract No. 12677, Network Maintenance to Logicalis, Inc. in the funded amount of \$729,621.66, as outlined in the foregoing preamble, is approved and further,

THAT, the President, or his designated representative is authorized to execute the Award.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D610415
VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Increase and Renewal (*Change No. 3*) to Contract No. 12545 (*formerly Contract No. C2668*), Veritas NetBackup Renewal with Thomas Consultants, Inc. to increase and renew the current contract in the funded amount of \$227,248.68 and is now recommending to the Council of the City of Memphis that it approves said increase and renewal as approved; and

WHEREAS, the project scope is to purchase Veritas NetBackup license and maintenance support for backup infrastructure. The Veritas software provides backup and restoration services for physical servers, databases and applications that run on the physical servers such as the core Customer information Systems, historical data on legacy servers and several other physical application servers. The contract award was selected based on the lowest and best bid using the Sealed Bid process; and

WHEREAS, this change is to increase and renew the annual software maintenance, support services and licensing for Veritas NetBackup applications for the period covering October 1, 2026 through September 30, 2027 in the amount of \$227,248.68 which reflects an 8% increase in rates from the previous term due to Cohesity NetBackup's global pricing adjustments. This increase and renewal complies with all applicable laws and policies. The new contract value is \$845,428.40; and

NOW THEREFORE BE IT RESOLVED BY THE Council of the City of Memphis, that there be and is hereby approved the Increase and Renewal (*Change No. 3*) to Contract No. 12545 (*formerly Contract No. C2668*), Veritas NetBackup Renewal with Thomas Consultants, Inc. to increase and renew the current contract in the funded amount of \$227,248.68 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Increase and Renewal (*Change No. 3*) to Contract No. 12545 (*formerly Contract No. C2668*), Veritas NetBackup Renewal with Thomas Consultants, Inc. to increase and renew the current contract in the funded amount of \$227,248.68.

The project scope is to purchase Veritas NetBackup license and maintenance support for backup infrastructure. The Veritas software provides backup and restoration services for physical servers, databases and applications that run on the physical servers such as the core Customer information Systems, historical data on legacy servers and several other physical application servers. The contract award was selected based on the lowest and best bid using the Sealed Bid process.

This change is to increase and renew the annual software maintenance, support services and licensing for Veritas NetBackup applications for the period covering October 1, 2026 through September 30, 2027 in the amount of \$227,248.68 which reflects an 8% increase in rates from the previous term due to Cohesity NetBackup's global pricing adjustments. This increase and renewal complies with all applicable laws and policies. The new contract value is \$845,428.40.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Increase and Renewal (*Change No. 3*) to Contract No. 12545 (*formerly Contract No. C2668*) with Thomas Consultants, Inc. to increase and renew the current contract in the funded amount of \$227,248.68 as outlined in the above preamble, is approved; and further

THAT, the President or his designated representative is authorized to execute the Increase and Renewal.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:


CB4E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Scope Expansion and Increase (*Change No. 5*) to Contract No. 12069, ArcFM Viewer Replacement with SSP Innovations, LLC to expand the scope and increase the current contract in the funded amount of \$20,000.00; and is now recommending to the Council of the City of Memphis that it approves said scope expansion and increase as approved; and

WHEREAS, the project scope is to provide software and services to replace the current ArcFM Viewer Application on MLGW's mobile devices. The software will allow MLGW's field personnel to access online GIS data over wireless networks. The contract award was selected based on the Request for Proposal ("RFP") evaluation process; and

WHEREAS, this change is to expand the scope of work to add a premium support package in addition to the current SSP software support services and increase the contract value in the amount of \$20,000.00. The premium support package will cover all Commercial Off-The-Shelf (COTS) software as well as any custom solutions developed and launched by SSP Innovations, LLC. It aims to minimize application downtime by implementing response times based on service level agreements (SLAs) for resolving issues. The term of the contract will remain through October 31, 2027. This scope expansion and increase complies with all applicable laws and policies. The new contract value is \$980,105.91; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved the Scope Expansion and Increase (*Change No. 5*) to Contract No. 12069, ArcFM Viewer Replacement with SSP Innovations, LLC to expand the scope and increase the current contract in the funded amount of \$20,000.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Scope Expansion and Increase (*Change No. 5*) to Contract No. 12069, ArcFM Viewer Replacement with SSP Innovations, LLC to expand the scope and increase the current contract in the funded amount of \$20,000.00.

The project scope is to provide software and services to replace the current ArcFM Viewer Application on MLGW's mobile devices. The software will allow MLGW's field personnel to access online GIS data over wireless networks. The contract award was selected based on the Request for Proposal ("RFP") evaluation process.

This change is to expand the scope of work to add a premium support package in addition to the current SSP software support services and increase the contract value in the amount of \$20,000.00. The premium support package will cover all Commercial Off-The-Shelf (COTS) software as well as any custom solutions developed and launched by SSP Innovations, LLC. It aims to minimize application downtime by implementing response times based on service level agreements (SLAs) for resolving issues. The term of the contract will remain through October 31, 2027. This scope expansion and increase complies with all applicable laws and policies. The new contract value is \$980,105.91.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Scope Expansion and Increase (*Change No. 5*) to Contract No. 12069, ArcFM Viewer Replacement with SSP Innovations, LLC to expand the scope and increase the current contract in the funded amount of \$20,000.00, as outlined in the above preamble, is approved; and further

THAT, the President, or his designated representative is authorized to execute the Scope Expansion and Increase.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:



C84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Ratification, Increase and Extension (*Change No. 5*) to Contract No. 11594, PowerPlan Maintenance Agreement with PowerPlan, Inc. to ratify increase and extend the current contract in the funded amount of \$2,814,188.38, and is now recommending to the Council of the City of Memphis that it approves said ratification, increase and extension as approved; and

WHEREAS, the project scope is to provide a PowerPlan master software license, maintenance and service support for the MSS ERP Replacement System. This software provides integration and automation interfaces used for Accounting, Utility Property, Plant and Equipment as a part of Project Inspire. The interfaces are written in PowerBuilder, which provides the ability to create databases using an object-oriented interface. The contract award was selected based on the Request for Proposal ("RFP") evaluation process; and

WHEREAS, this change is to ratify the approval of a payment, after the fact, to settle an outstanding invoice in the amount of \$1,808.48. This change is also to increase the contract value in the amount of \$515,902.00 to upgrade the PowerPlan software to the latest release. Additionally, this change is to extend the current contract for a five (5) year period covering December 19, 2026 through December 18, 2031 in the amount of \$2,042,451.07. MLGW is requesting the extension for continuous use of licenses and maintenance support services for PowerPlan. The extension reflects a negotiated 5% annual increase from the previous term due to rising operational costs indicated by recent Consumer Price Index (CPI) trends and ensures continued investment in product improvements, security enhancements, and high-quality support. Also, MLGW is requesting contingency funds in the amount of \$255,835.31 for any unforeseen circumstances which may occur. The total funded amount of this ratification, increase and extension is \$2,814,188.38. Also, MLGW is requesting continuous

maintenance of the acquired system, which can only be performed by PowerPlan, Inc. This ratification, increase and extension complies with all applicable laws and policies. The new contract value is \$6,736,467.16; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved the Ratification, Increase and Extension (*Change No. 5*) to Contract No. 11594, PowerPlan Maintenance Agreement with PowerPlan, Inc. to ratify, increase and extend the current contract in the funded amount of \$2,814,188.38 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Ratification, Increase and Extension (*Change No. 5*) to Contract No. 11594, PowerPlan Maintenance Agreement with PowerPlan, Inc. to ratify, increase and extend the current contract in the funded amount of \$2,814,188.38.

The project scope is to provide a PowerPlan master software license, maintenance and service support for the MSS ERP Replacement System. This software provides integration and automation interfaces used for Accounting, Utility Property, Plant and Equipment as a part of Project Inspire. The interfaces are written in PowerBuilder, which provides the ability to create databases using an object-oriented interface. The contract award was selected based on the Request for Proposal ("RFP") evaluation process.

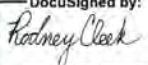
This change is to ratify the approval of a payment, after the fact, to settle an outstanding invoice in the amount of \$1,808.48. This change is also to increase the contract value in the amount of \$515,902.00 to upgrade the PowerPlan software to the latest release. Additionally, this change is to extend the current contract for a five (5) year period covering December 19, 2026 through December 18, 2031 in the amount of \$2,042,451.07. MLGW is requesting the extension for continuous use of licenses and maintenance support services for PowerPlan. The extension reflects a negotiated 5% annual increase from the previous term due to rising operational costs indicated by recent Consumer Price Index (CPI) trends and ensures continued investment in product improvements, security enhancements, and high-quality support. Also, MLGW is requesting contingency funds in the amount of \$255,835.31 for any unforeseen circumstances which may occur.

The total funded amount of this ratification, increase and extension is \$2,814,188.38. MLGW is requesting continuous maintenance of the acquired system, which can only be performed by PowerPlan, Inc. This ratification, increase and extension complies with all applicable laws and policies. The new contract value is \$6,736,467.16.

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Ratification, Increase and Extension (*Change No. 5*) to Contract No. 11594, PowerPlan Maintenance Agreement with PowerPlan, Inc. to ratify, increase and extend the current contract in the funded amount of \$2,814,188.38, as outlined in the foregoing preamble, is approved; and further,

THAT, The President or his designated representative is authorized to execute the Ratification, Increase and Extension.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

CB4E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the purchase of four-wheel drive trucks with service bodies and is now recommending to the Council of the City of Memphis that it approves said purchase; and

WHEREAS, Division crews will use four-wheel drive trucks with service bodies to maintain service reliability for the electric, gas, and water infrastructures. These trucks will facilitate the efficient transportation of crews, equipment, and materials for Division operations. All fifteen trucks will replace existing trucks that will be retired from service based on age, operational usage, and repair costs; and

WHEREAS, bids were opened on March 11, 2026. Notice to Bidders was advertised. Nine bids were solicited, and four bids were received with best complying and most responsive bidders being the firms of Landers Ford, Inc. and Nashville Automotive dba Serra Chevrolet Buick GMC. These awards comply with all applicable laws and policies; and

NOW, THEREFORE BE IT RESOLVED by the Council of the City of Memphis that there be and is hereby approved the purchase of four-wheel drive trucks with service bodies from Landers Ford, Inc. and Nashville Automotive dba Serra Chevrolet Buick GMC in the amount of \$948,499.20 chargeable to the MLGW 2026 fiscal year budget.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards purchase orders for four-wheel drive trucks with service bodies to Landers Ford, Inc. and Nashville Automotive dba Serra Chevrolet Buick GMC in the amount of \$948,499.20.

Division crews will use four-wheel drive trucks with service bodies to maintain service reliability for the electric, gas, and water infrastructures. These trucks will facilitate the efficient transportation of crews, equipment, and materials for Division operations. All fifteen trucks will replace existing trucks that will be retired from service based on age, operational usage, and repair costs.

Bids were opened on March 11, 2026. Notice to Bidders was advertised. Nine bids were solicited, and four bids were received with best complying and most responsive bidders being the firms of Landers Ford, Inc. and Nashville Automotive dba Serra Chevrolet Buick GMC. These awards comply with all applicable laws and policies.

The 2026 budgeted amount for Transportation - Vehicle Acquisition and Training is \$11,023,532.00; the amount spent year-to-date is \$1,383,944.92; leaving a balance available of \$9,639,587.08; of which \$948,499.20 will be spent on this purchase in 2026; leaving a balance available of \$8,691,087.88 after award; and

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, subject to the consent and approval of the Council of the City of Memphis, awards purchase orders to Landers Ford, Inc. and Nashville Automotive dba Serra Chevrolet Buick GMC are approved for furnishing:

2 - Latest model one-ton extended cab and chassis, four-wheel drive, with single rear wheels and 60-inch cab-to-axle (CA) dimension with service body, all in accordance with Division Specification Number TSWSB-26-5204-4WD;

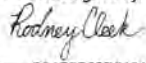
1 - Latest model one-ton regular cab and chassis, four-wheel drive, with single rear wheels and 60-inch cab-to-axle (CA) dimension with service body, all in accordance with Division Specification Number TSWSB-26-5207-4WD;

9 - Latest model three-quarter ton regular cab and chassis, four-wheel drive, with single rear wheels and 56-inch cab-to-axle (CA) dimension with service body, all in accordance with Division Specification Number TSWSB-26-5207-4WD;

3 - Latest model one-ton regular cab and chassis, four-wheel drive, with dual rear wheels and 60-inch cab-to-axle (CA) dimension with service body, all in accordance with Division Specification Number TDWSB-26-5208-4WD;

Totaling \$948,499.20; f.o.b. Memphis, Tennessee, our dock; transportation prepaid; said prices being firm; the quantity is for estimation purposes only and does not create a commitment for MLGW to purchase any specific minimum or maximum quantity, with actual purchases to be made according to operational needs, not to exceed the approved total expenditure; delivery in 15-21 weeks, terms net 30 days.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of April 15, 2026 approved the purchase of four-wheel drive backhoes and is now recommending to the Council of the City of Memphis that it approves said purchase; and

WHEREAS, Division crews will utilize four-wheel drive backhoes to perform digging, trenching, back-filling, excavation, and customer service functions necessary to maintain the electric, gas, and water systems. These backhoes will replace 13 of the 108 currently in service that will be decommissioned due to age, usage, and repair costs; and

WHEREAS, a bid was opened on February 26, 2026. In accordance with Tennessee Code Annotated §12-3-1205, Cooperative Purchasing Agreements; MLGW is allowed to make purchases through cooperative purchasing agreements for the procurement of any goods, supplies, or equipment with one or more other governmental entities outside of this state to the extent the laws of the other state permit the joint purchasing authority. Sourcewell contract number 011723-JDC

will be utilized to procure the backhoes. This award complies with all applicable laws and policies; and

NOW, THEREFORE BE IT RESOLVED by the Council of the City of Memphis that there be and is hereby approved the purchase of four-wheel drive backhoes from Stribling Equipment, LLC in the amount of \$1,706,625.00 chargeable to the MLGW 2026 fiscal year budget.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards a purchase order for four-wheel drive backhoes to Stribling Equipment, LLC in the amount of \$1,706,625.00.

Division crews will utilize four-wheel drive backhoes to perform digging, trenching, back-filling, excavation, and customer service functions necessary to maintain the electric, gas, and water systems. These backhoes will replace 13 of the 108 currently in service that will be decommissioned due to age, usage, and repair costs.

A bid was opened on February 26, 2026. In accordance with Tennessee Code Annotated §12-3-1205, Cooperative Purchasing Agreements; MLGW is allowed to make purchases through cooperative purchasing agreements for the procurement of any goods, supplies, or equipment with one or more other governmental entities outside of this state to the extent the laws of the other state permit the joint purchasing authority. Sourcewell contract number 011723-JDC will be utilized to procure the backhoes. This award complies with all applicable laws and policies.

The 2026 budgeted amount for Transportation – Vehicle Acquisition and Training is \$15,636,000.00; the amount spent year-to-date is \$12,837.07; leaving a balance available of \$15,623,162.93; of which \$1,706,625.00 will be spent on this purchase in 2026; leaving a balance available of \$13,916,537.93 after award; and

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

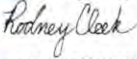
THAT, subject to the consent and approval of the Council of the City of Memphis, awards a purchase order to Stribling Equipment, LLC is approved for furnishing:

3 – Latest model hydraulically operated backhoe loader extend-a-hoe with four-wheel drive, all in accordance with Division Specification Number TELB-26-0114;

10 – Latest model hydraulically operated backhoe loader four-wheel drive, all in accordance with Division Specification Number TTLB-26-0117;

Totaling \$1,706,625.00; f.o.b. Memphis, Tennessee, our dock; transportation prepaid; said price being firm; the quantity is for estimation purposes only and does not create a commitment for MLGW to purchase any specific minimum or maximum quantity, with actual purchases to be made according to operational needs, not to exceed the approved total expenditure; delivery in 13-17 weeks, terms net 30 days.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:


C84E2E63D610415...

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved Increase (*Change No. 2*) to Contract No. 12371, System Furniture with Office Interiors to increase the current contract in the funded amount of \$1,500,000.00, and is now recommending to the Council of the City of Memphis that it approves said change as approved; and

WHEREAS, the project scope is to purchase and install modular furniture and acoustical partition systems. Furniture systems shall include all furniture elements such as workstations for closed and open office layouts, filing systems, chairs, and conference tables. The contract award was selected using the Sole Source selection process; and

WHEREAS, this change is to increase the current contract value in the amount of \$1,500,000.00 to continue to meet the needs of MLGW employees by supplying system furniture and fixtures. Due to the need for compatibility with the existing specifications currently established, Office interiors is the only Vendor that provides the furniture currently installed, thus making it possible for the Vendor to provide warranty services for new and existing furniture items. MLGW desires to purchase new and replacement items that match our existing specifications. The contract term will remain October 11, 2022 through October 10, 2027. This Sole Source increase complies with all applicable laws and policies. The new contract value is \$4,500,000.00; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved Increase (*Change No. 2*) to Contract No. 12371, System Furniture with Office Interiors to increase the current contract in the funded amount of \$1,500,000.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of Increase (*Change No. 2*) to Contract No. 12371, System Furniture with Office Interiors to increase the current contract in the funded amount of \$1,500,000.00.

The project scope is to purchase and install modular furniture and acoustical partition systems. Furniture systems shall include all furniture elements such as workstations for closed and open office layouts, filing systems, chairs, and conference tables. The contract award was selected using the Sole Source selection process.

This change is to increase the current contract value in the amount of \$1,500,000.00 to continue to meet the needs of MLGW employees by supplying system furniture and fixtures. Due to the need for compatibility with the existing specifications currently established, Office interiors is the only Vendor that provides the furniture currently installed, thus making it possible for the Vendor to provide warranty services for new and existing furniture items. MLGW desires to purchase new and replacement items that match our existing specifications. The contract term will remain October 11, 2022 through October 10, 2027. This Sole Source increase complies with all applicable laws and policies. The new contract value is \$4,500,000.00.

THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of Increase (*Change No. 2*) to Contract No. 12371, System Furniture with Office Interiors to increase the current contract in the funded amount of \$1,500,000.00, as outlined in the above preamble, is approved; and further

THAT, the President, or his designated representative is authorized to execute the Increase.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:


C84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 awarded Contract No. 12662, Billing Services Assistance to Hometown Hub, LLC in the funded amount of \$5,709,705.67, and is now recommending to the Council of the City of Memphis that it approves said award as approved; and

WHEREAS, the project scope is to provide temporary billing support services to ensure the accuracy and timeliness of customer billing during a departmental training and transition period. The selected Agency will work in partnership with MLGW's Billing Services Department to maintain operational continuity and uphold billing accuracy standards while new employees are being trained; and

WHEREAS, the Request for Proposal was advertised using MLGW's Online Bid Notification System on December 8, 2025. MLGW solicited 12 firms and six (6) proposals were received on January 30, 2026. Three (3) of the responding firms were deemed non-compliant for failing to provide the required references, failing to sign their proposals, and not meeting the specified cyber-security requirements. The most responsive proposal received was from Hometown Hub, LLC in the amount of \$5,709,705.67. The proposals were evaluated based on the following criteria: 1) Workplan and compliance with the mandatory requirements; 2) Price; 3) Experience and references to provide the service; 4) Support services offered; and 5) Implementation timeline. The term of this contract is two (2) years from the date of the Notice to Proceed with the option of two (2) annual renewals. This award complies with all applicable laws and policies; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Memphis, that there be and is hereby approved an award of Contract No. 12662, Billing Services Assistance to Hometown Hub, LLC in the funded amount of \$5,709,705.67 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners that it awards Contract No. 12662, Billing Services Assistance to Hometown Hub, LLC in the funded amount of \$5,709,705.67.

The project scope is to provide temporary billing support services to ensure the accuracy and timeliness of customer billing during a departmental training and transition period. The selected Agency will work in partnership with MLGW's Billing Services Department to maintain operational continuity and uphold billing accuracy standards while new employees are being trained.

The Request for Proposal was advertised using MLGW's Online Bid Notification System on December 8, 2025. MLGW solicited 12 firms and six (6) proposals were received on January 30, 2026. Three (3) of the responding firms were deemed non-compliant for failing to provide the required references, failing to sign their proposals, and not meeting the specified cyber-security requirements. The most responsive proposal received was from Hometown Hub, LLC in the amount of \$5,709,705.67. The proposals were evaluated based on the following criteria: 1) Workplan and compliance with the mandatory requirements; 2) Price; 3) Experience and references to provide the service; 4) Support services offered; and 5) Implementation timeline. The term of this contract is two (2) years from the date of the Notice to Proceed with the option of two (2) annual renewals. This award complies with all applicable laws and policies.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the award of Contract No. 12662, Billing Services Assistance to Hometown Hub, LLC in the funded amount of \$5,709,705.67, as outlined in the above preamble, is approved and further,

THAT, the President, or his designated representative is authorized to execute the Award.

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:



C:84E2E63D610415

VP, CFO & Secretary - Treasurer

RESOLUTION

WHEREAS, the Board of Light, Gas and Water Commissioners in their meeting of May 6, 2026 approved the Increase and Renewal (*Change No. 1*) to Contract No. 12533, Division Copy Fleet with Konica Minolta to increase and renew the current contract in the funded amount of \$117,720.00, and is now recommending to the Council of the City of Memphis that it approves said increase and renewal as approved; and

WHEREAS, the project scope is to secure new multi-functional walk-up copiers black/white and color copiers for MLGW Departments at all locations. All MLGW employees will use the copiers to copy, print, and scan documents. MLGW will complete a two (2) year rental agreement with the Vendor. MLGW is seeking an initial copier placement of 101 units (Item A - 51 units; Item B - 40 units; Item C - 8 units; and Item D - 2 units, respectively). The contract award was based on the Request for Proposals ("RFP") evaluation process; and

WHEREAS, this change is to increase the contract amount and renew for the first of three (3) annual renewal terms covering the period October 1, 2026 through September 30, 2027 in the amount of \$117,720.00 which reflects a negotiated 58.06% decrease which resulted in an annual savings of \$162,957.00. Konica Minolta will continue to provide all equipment, service, and supplies under the unlimited print usage terms, maintaining alignment with the existing contract provisions. This increase and renewal complies with all applicable laws and policies. The new contract value is \$735,209.00; and

NOW THEREFORE BE IT RESOLVED BY THE Council of the City of Memphis, that there be and is hereby approved the Increase and Renewal (*Change No. 1*) to Contract No. 12533, Division Copy Fleet with Konica Minolta to increase and renew the current contract in the funded amount of \$117,720.00 as approved.

EXCERPT
from
MINUTES OF MEETING
of
BOARD OF LIGHT, GAS AND WATER COMMISSIONERS
CITY OF MEMPHIS
held
May 6, 2026

The Manager of Procurement and Contracts recommends to the Board of Light, Gas and Water Commissioners the approval of the Increase and Renewal (*Change No. 1*) to Contract No. 12533, Division Copy Fleet with Konica Minolta to increase and renew the current contract in the funded amount of \$117,720.00.

The project scope is to secure new multi-functional walk-up copiers black/white and color copiers for MLGW Departments at all locations. All MLGW employees will use the copiers to copy, print, and scan documents. MLGW will complete a two (2) year rental agreement with the Vendor. MLGW is seeking an initial copier placement of 101 units (Item A - 51 units; Item B - 40 units; Item C - 8 units; and Item D - 2 units, respectively). The contract award was based on the Request for Proposals ("RFP") evaluation process.

This change is to increase the contract amount and renew for the first of three (3) annual renewal terms covering the period October 1, 2026 through September 30, 2027 in the amount of \$117,720.00 which reflects a negotiated 58.06% decrease which resulted in an annual savings of \$162,957.00. Konica Minolta will continue to provide all equipment, service, and supplies under the unlimited print usage terms, maintaining alignment with the existing contract provisions. This increase and renewal complies with all applicable laws and policies. The new contract value is \$735,209.00.

NOW THEREFORE BE IT RESOLVED BY the Board of Light, Gas and Water Commissioners:

THAT, Subject to the consent and approval of the Council of the City of Memphis, the approval of the Increase and Renewal (*Change No. 1*) to Contract No. 12533, Division Copy Fleet with Konica Minolta to increase and renew the current contract in the funded amount of \$117,720.00, as outlined in the above preamble, is approved; and further,

THAT, the President, or his designated representative is authorized to execute the Increase and Renewal,

I hereby certify that the foregoing is a true copy of a resolution adopted by the Board of Light, Gas and Water Commissioners at a regular meeting held on 6th day of May, 2026, at which a quorum was present.

DocuSigned by:

C84E2E63D610415

VP, CFO & Secretary - Treasurer



Memphis City Council Summary Sheet

(Revised January 28, 2026)

1. **Description of the Item (Resolution, Ordinance, etc.)**
Resolution to amend the Fiscal Year 2026 General Fund Operating Budget in the Amount of Five Hundred Seventy-Five Thousand Dollars (\$575,000.00) for the Memphis Parks Division

2. **Initiating Party (e.g. Public Works, at request of City Council, etc.)**
Memphis Parks

3. **State whether this is a change to an existing ordinance or resolution, if applicable.**
Change to Budget Ordinance 5944

4. **State whether this will impact specific council districts or super districts.**
All

5. **State whether this requires a new contract, or amends an existing contract, if applicable.**
N/A

6. **State whether this requires an expenditure of funds/requires a budget amendment.**
Resolution requires a budget amendment

7. **If same night minutes are requested, state the reason for the urgency.**
N/A

RESOLUTION TO AMEND THE FISCAL YEAR 2026 GENERAL FUND OPERATING BUDGET IN THE AMOUNT OF FIVE HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$575,000.00) FOR THE MEMPHIS PARKS DIVISION

WHEREAS, on June 14, 2024, ownership of the Simmons Bank Liberty Stadium was transferred from the City of Memphis to the University of Memphis Auxiliary Services Foundation; and

WHEREAS, on July 1, 2024, the City of Memphis entered into a reinstated management agreement with Global Spectrum, LP (doing business as Oak View Group) for the operation, promotion, and maintenance of the facilities surrounding Simmons Bank Liberty Stadium—collectively known as the “Surrounding Facilities”—including the Fairgrounds (also known as Liberty Park), Tiger Lane, Creative Arts Building, Pipkin Building, and various adjacent parking areas; and

WHEREAS, the reinstated management agreement specifies that all operating revenues and expenditures for the Surrounding Facilities shall be recorded through a separate Operating Account in the name of the City of Memphis; and

WHEREAS, Oak View Group submits monthly financial reports to the City detailing all operating revenues and expenditures for the Surrounding Facilities, which the Memphis Parks division uses to submit corresponding journal entries to the City Finance Division for recording in service center 150901 of the City’s Operating Budget; and

WHEREAS, service center 150901 is projecting an Operating Budget deficit for Fiscal Year 2026, based on forecasted expenditures for the Surrounding Facilities submitted to the Memphis Parks Division by Oak View Group; and

WHEREAS, the Memphis Parks Division is requesting a budget neutral amendment in the amount of five hundred seventy-five thousand dollars (\$575,000.00) to the Fiscal Year 2026 Operating Budget to shift funds within the Division to accommodate the projected shortfall for the Surrounding Facilities.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MEMPHIS, TENNESSEE, that the Fiscal Year 2026 General Fund Operating Budget be amended in correspondence with Tennessee Constitution Article 2 § 24, TCA § 9-1-116, Municipal Budget Law of 1982 in the amount of five hundred seventy-five thousand dollars (\$575,000.00) for the Memphis Parks Division.

T-291
T-292
T-341



City Council Item Routing Sheet

(Revised February 5, 2026)

Division: Finance , Committee: Finance and Budget Hearing Date: _____

District: All Super District: All

Item Type: Resolution Request for Same Night Minutes _____

Caption: The Finance Division is requesting BUDGET NEUTRAL adjustments for the 3rd quarter of the Fiscal Year 2026.

Recommended Council Action: Approve the resolution.

Describe previous action taken by any other entity (i.e. board, commission, task force, council committee, etc.) and date of any action taken: N/A

Does this item/grant acceptance require a matching operating or CIP budget funds?
 Yes No N/A

Operating/CIP Match: \$ _____

Funding Source: _____

Revenue to be Received: \$ _____

Source and Amount of Funds

Operating Budget: \$ _____

CIP Budget: \$ _____

CIP Project # _____

 Date _____

Division Director
Anita Taylor
049803298417469

 Date 4/8/2026

Budget Manager:
Walter Person
906E89623C649C

 Date 4/9/2026

Chief Financial Officer or Deputy CFO
DS
CMH

Legal Review (initials)

DocuSigned by:
Tannera Gibson
E75D3A67E609432

 Date 4/13/2026

Chief Legal Officer

 Date _____

Chief of Dev & Infrastructure (for PW, ENG, HCD, DPD)
DocuSigned by:
Antonio Adams
77CDEBE8E3BB4D4

 Date 4/14/2026

Chief Operating Officer
Initial
JCW

Intergovernmental Receipt (initials)



Memphis City Council Summary Sheet

1. Description of the Item (Resolution, Ordinance, etc.)

Fiscal Year 2026 3rd Quarter Budget "Neutral" Adjustment Resolution

2. Initiating Party (e.g. Public Works, at request of City Council, etc.)

Finance Division

3. State whether this is a change to an existing ordinance or resolution, if applicable.

This is a change to Budget Ordinance 5944, which approved the FY26 General Fund Operating Budget

4. State whether this will impact specific council districts or super districts.

This resolution affects all districts

5. State whether this requires a new contract, or amends an existing contract, if applicable.

N/A

6. State whether this requires an expenditure of funds/requires a budget amendment.

This resolution requires a budget amendment

RESOLUTION

**Fiscal Year 2026 3rd Quarter Budget "Neutral" Adjustment Resolution
REQUEST FOR SAME NIGHT MINUTES**

WHEREAS the Finance Division monitors the City's actual financial performance relative to its adopted operating budget, for all funds; and

WHEREAS, in conjunction with the Finance Division each Division of the City of Memphis reviews its current revenues and expenditures, and projects the anticipated outcomes for the fiscal year; and

WHEREAS, based on the General Fund 3rd Quarter review, it is necessary to amend the fiscal year 2026 (FY26) Operating Budget with a budget neutral adjustment from Memphis Parks in the amount of \$250,000, from Police Services in the amount of \$959,281, and from General Services in the amount of \$900,000, which will be reallocated to Fire Services in the amount of \$2,109,281; and

WHEREAS, the Finance Division has identified a budget neutral transfer of appropriations to accomplish this reallocation as follows:

- *Police Services* – Funds in the amount \$959,281 will be reallocated to fund Fire Services City Shop Charges shortfall for fiscal year 2026. The total adjustment of \$959,281 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-1*
- *Memphis Parks* – Funds in the amount \$250,000 will be reallocated to fund Fire Services City Shop Charges shortfall for fiscal year 2026. The total adjustment of \$250,000 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-1*
- *General Services* – Funds in the amount \$900,000 will be reallocated to fund Fire Services City Shop Charges shortfall for fiscal year 2026. The total adjustment of \$900,000 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-1*

WHEREAS, the Finance Division has identified budget neutral transfers of appropriation in General Services with reallocations as follows:

- *General Services* – Funds in the amount \$2,848,170 will be reallocated between multiple legal levels within the General Services Division to adjust for unexpected expenses. The total adjustment of \$2,848,170 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-2*
- *Police Services* – Funds in the amount \$16,409,397 will be reallocated between multiple legal levels within the Police Services Division to adjust for unexpected expenses. The total adjustment of \$16,409,397 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-3*
- *Fire Services* – Funds in the amount \$7,875,000 will be reallocated between multiple legal levels within the Police Services Division to adjust for unexpected expenses. The total adjustment of \$7,875,000 is *budget neutral, therefore, there will be no impact to fund balance. See attached Table-4*

NOW, THEREFORE BE IT RESOLVED, by the Council of the City of Memphis that the Finance Division is hereby authorized to execute the aforementioned budget adjustments as needed to close the Fiscal Year 2026 Operating Budget with a balanced budget as required by and in accordance with Tennessee Constitution Article 2 § 24, TCA § 9-1-116, Municipal Budget Law of 1982.

May 13, 2026

Sponsored by the Administration – Finance Division



CITY OF MEMPHIS
Q3 BUDGET ADJUSTMENT RESOLUTION TABLE - 1
FISCAL YEAR 2026

DESCRIPTION: Request to amend the fiscal year 2026 (FY26) Operating Budget with a **budget neutral adjustments** from Memphis Parks in the amount of \$250,000, from Police Services in the amount of \$959,281.34, and from General Services in the amount of \$900,000 in which will be reallocated to Fire Services in the amount of \$2,109,281.34

DIVISION	FUND	FUND	SERVICE CENTER	SERVICE CENTER NAME	ACCOUNT	ACCOUNT NAME	INCREASE (DEBIT)	DECREASE (CREDIT)
POLICE SERVICES	General Fund	0111	140101	Exec_Admin - Police Services	052124	City Shop Fuel		8,370.11
POLICE SERVICES	General Fund	0111	140103	Organized Crime Unit	052124	City Shop Fuel		442,712.36
POLICE SERVICES	General Fund	0111	140105	Training Academy	052124	City Shop Fuel		10,331.16
POLICE SERVICES	General Fund	0111	140106	Research & Development	052124	City Shop Fuel		164.51
POLICE SERVICES	General Fund	0111	140202	Communication Services	052124	City Shop Fuel		1,900.64
POLICE SERVICES	General Fund	0111	140205	Information Technology	052124	City Shop Fuel		1,438.85
POLICE SERVICES	General Fund	0111	140206	Property & Evidence	052124	City Shop Fuel		1,184.03
POLICE SERVICES	General Fund	0111	104207	Real Time Crime Center	052124	City Shop Fuel		10,547.66
POLICE SERVICES	General Fund	0111	140208	Radio Maintenance	052124	City Shop Fuel		5,888.91
POLICE SERVICES	General Fund	0111	140301	Old Allen Station	052124	City Shop Fuel		30,614.43
POLICE SERVICES	General Fund	0111	140303	Mt. Moriah Station	052124	City Shop Fuel		11,119.20
POLICE SERVICES	General Fund	0111	140305	Main St. Station	052124	City Shop Fuel		59,845.25
POLICE SERVICES	General Fund	0111	140306	Police Reserves	052124	City Shop Fuel		3,552.95
POLICE SERVICES	General Fund	0111	140308	Airways Station	052124	City Shop Fuel		58,882.95
POLICE SERVICES	General Fund	0111	140309	Appling Farms Station	052124	City Shop Fuel		142,098.38
POLICE SERVICES	General Fund	0111	140311	Ridgeway Station	052124	City Shop Fuel		69,289.43
POLICE SERVICES	General Fund	0111	140401	Investigative Services	052124	City Shop Fuel		25,770.08
POLICE SERVICES	General Fund	0111	140501	Special Operations	052124	City Shop Fuel		18,748.02
POLICE SERVICES	General Fund	0111	140502	Traffic Bureau	052124	City Shop Fuel		54,784.44
POLICE SERVICES	General Fund	0111	140503	Crime Prevention	052124	City Shop Fuel		2,038.04
Total to FIRE from POLICE	General Fund	0111	130201	Apparatus Maintenance	052116	City Shop Charges	959,281.34	
MEMPHIS PARKS	General Fund	0111	150101	Administration - Memphis Parks	052116	City Shop Charges		3,000.00
MEMPHIS PARKS	General Fund	0111	150101	Administration - Memphis Parks	052124	City Shop Fuel		2,000.00
MEMPHIS PARKS	General Fund	0111	150101	Administration - Memphis Parks	052810	Utilities		50,000.00
MEMPHIS PARKS	General Fund	0111	150402	Park Operations	052116	City Shop Charges		120,000.00
MEMPHIS PARKS	General Fund	0111	150402	Park Operations	052124	City Shop Fuel		30,000.00
MEMPHIS PARKS	General Fund	0111	150501	Museums	052116	City Shop Charges		5,000.00
MEMPHIS PARKS	General Fund	0111	150801	Botanic Gardens	052116	City Shop Charges		3,000.00
MEMPHIS PARKS	General Fund	0111	150801	Botanic Gardens	052124	City Shop Fuel		2,000.00
MEMPHIS PARKS	General Fund	0111	150801	Botanic Gardens	052810	Utilities		10,000.00
MEMPHIS PARKS	General Fund	0111	151010	Community Centers	052116	City Shop Charges		10,000.00
MEMPHIS PARKS	General Fund	0111	151504	Fox Meadow Golf	052124	City Shop Fuel		2,000.00
MEMPHIS PARKS	General Fund	0111	151505	Galloway Golf	052124	City Shop Fuel		3,000.00
MEMPHIS PARKS	General Fund	0111	151506	Overton Golf	052116	City Shop Charges		10,000.00
Total to FIRE from PARKS	General Fund	0111	130201	Apparatus Maintenance	052116	City Shop Charges	250,000.00	
GENERAL SERVICES	General Fund	0111	200802	V M Fuel	057440	Fuel Inventory (Fleet Fuel)		900,000.00
Total to FIRE from GS	General Fund	0111	130201	Apparatus Maintenance	052116	City Shop Charges	900,000.00	
TOTAL AMOUNT - BUDGET ADJUSTMENTS							2,109,281.34	2,109,281.34



CITY OF MEMPHIS
Q3 BUDGET ADJUSTMENT RESOLUTION TABLE - 2
FISCAL YEAR 2026

REQUEST DESCRIPTION: Budget neutral adjustments

DIVISION	FUND NAME	FUND	SERVICE CENTER NAME	SERVICE CENTER	ACCOUNT NAME	ACCOUNT	INCREASE (DEBIT)	DECREASE (CREDIT)
GENERAL SERVICES	General Fund	0111	Administration - General Services	200101	Full-time Salaries	051101		75,000.00
GENERAL SERVICES	General Fund	0111	Administration - General Services	200101	Materials & Supples	052342		20,000.00
GENERAL SERVICES	General Fund	0111	Administration - General Services	200101	Travel	052610		50,000.00
GENERAL SERVICES	General Fund	0111	Administration - General Services	200101	Cert Pay	051221		50,000.00
GENERAL SERVICES	General Fund	0111	G S Support Services	200102	Full-time Salaries	051101		250,000.00
GENERAL SERVICES	General Fund	0111	Property Maintenance	200201	Full-time Salaries	051101		675,000.00
GENERAL SERVICES	General Fund	0111	Grounds - Property Maintenance	200203	Full-time Salaries	051101		175,000.00
GENERAL SERVICES	General Fund	0111	Building Maintenance	200206	Full-time Salaries	051101		275,000.00
GENERAL SERVICES	General Fund	0111	Building Maintenance	200206	PT Salaries	051402		20,000.00
GENERAL SERVICES	General Fund	0111	Fleet Management	203001	PT Salaries	051402		28,170.00
GENERAL SERVICES	General Fund	0111	Fleet Management	203001	Misc Professional Services	052528		30,000.00
GENERAL SERVICES	General Fund	0111	Fleet Management	203001	Full-time Salaries	051101		1,200,000.00
GENERAL SERVICES	General Fund	0111	Property Maintenance	200201	Overtime	051202	125,000.00	
GENERAL SERVICES	General Fund	0111	Property Maintenance	200201	PT Salaries	051402	75,000.00	
GENERAL SERVICES	General Fund	0111	Property Maintenance	200201	Misc Professional Services	052528	500,000.00	
GENERAL SERVICES	General Fund	0111	Grounds - Property Maintenance	200203	PT Salaries	051402	200,000.00	
GENERAL SERVICES	General Fund	0111	Grounds - Property Maintenance	200203	Utilities	052810	32,000.00	
GENERAL SERVICES	General Fund	0111	Grounds - Property Maintenance	200203	Rent	052932	16,000.00	
GENERAL SERVICES	General Fund	0111	Building Maintenance	200206	Security	052520	142,000.00	
GENERAL SERVICES	General Fund	0111	Building Maintenance	200206	Utilities	052810	485,000.00	
GENERAL SERVICES	General Fund	0111	Building Maintenance	200206	Equipment Rental	053206	95,000.00	
GENERAL SERVICES	General Fund	0111	Real Estate Department	200301	PT Salaries	051402	32,000.00	
GENERAL SERVICES	General Fund	0111	Fleet Management	203001	Overtime	051202	1,007,170.00	
GENERAL SERVICES	General Fund	0111	Fleet Management	203001	PTO Final Pay	051218	139,000.00	
TOTAL AMOUNT - BUDGET ADJUSTMENTS							2,848,170.00	2,848,170.00



CITY OF MEMPHIS
Q3 BUDGET ADJUSTMENT RESOLUTION TABLE - 3
FISCAL YEAR 2026

REQUEST DESCRIPTION: Budget neutral adjustments

DIVISION	FUND NAME	FUND	SERVICE CENTER NAME	SERVICE CENTER	ACCOUNT NAME	ACCOUNT	INCREASE (DEBIT)	DECREASE (CREDIT)
POLICE SERVICES	GENERAL FUND	0111	Exec_Admin - Police Services	140101	Overtime	051202	617,370.76	0.00
POLICE SERVICES	GENERAL FUND	0111	Exec_Admin - Police Services	140101	Credit Card Fees - Expense	052949	34.72	0.00
POLICE SERVICES	GENERAL FUND	0111	Exec_Admin - Police Services	140101	Expense Recovery - Personnel	056199	0.00	32,000.00
POLICE SERVICES	GENERAL FUND	0111	Exec_Admin - Police Services	140101	Prior Year Expense	059900	190,127.85	0.00
POLICE SERVICES	GENERAL FUND	0111	Organized Crime Unit	140103	Overtime	051202	0.00	6,037.45
POLICE SERVICES	GENERAL FUND	0111	Organized Crime Unit	140103	City Shop Fuel	052124	0.00	137,902.93
POLICE SERVICES	GENERAL FUND	0111	Organized Crime Unit	140103	Expense Recovery - Personnel	056199	0.00	51,200.00
POLICE SERVICES	GENERAL FUND	0111	Inspectional Services	140104	Overtime	051202	0.00	117,942.61
POLICE SERVICES	GENERAL FUND	0111	Inspectional Services	140104	Expense Recovery - Personnel	056199	0.00	10,400.00
POLICE SERVICES	GENERAL FUND	0111	Training Academy	140105	Overtime	051202	737,061.48	0.00
POLICE SERVICES	GENERAL FUND	0111	Training Academy	140105	Expense Recovery - Personnel	056199	1,005,108.04	0.00
POLICE SERVICES	GENERAL FUND	0111	Training Academy	140105	Prior Year Expense	059900	0.00	1,392,142.39
POLICE SERVICES	GENERAL FUND	0111	Research & Development	140106	Overtime	051202	382.72	0.00
POLICE SERVICES	GENERAL FUND	0111	Research & Development	140106	Expense Recovery - Personnel	056199	0.00	800.00
POLICE SERVICES	GENERAL FUND	0111	Police Recruits	140107	Overtime	051202	0.00	295,561.87
POLICE SERVICES	GENERAL FUND	0111	Support Services	140201	Overtime	051202	0.00	396.56
POLICE SERVICES	GENERAL FUND	0111	Support Services	140201	Janitorial Services	052518	1,797,742.42	0.00
POLICE SERVICES	GENERAL FUND	0111	Support Services	140201	Security	052520	1,188,711.96	0.00
POLICE SERVICES	GENERAL FUND	0111	Support Services	140201	Misc Services and Charges	052950	1,077,905.88	0.00
POLICE SERVICES	GENERAL FUND	0111	Support Services	140201	Expense Recovery - Personnel	056199	0.00	1,600.00
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Overtime	051202	0.00	2,007,718.44
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Credit Card Fees - Expense	052949	19,217.72	0.00
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Misc Services and Charges	052950	14,127.72	0.00
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Furniture/Furnishings	053102	0.00	28,899.96
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Computers	053105	207.22	0.00
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Equipment	053108	338,690.85	0.00
POLICE SERVICES	GENERAL FUND	0111	Communication Services	140202	Expense Recovery - Personnel	056199	0.00	800.00
POLICE SERVICES	GENERAL FUND	0111	Financial Services	140203	Overtime	051202	0.00	11,239.01
POLICE SERVICES	GENERAL FUND	0111	Financial Services	140203	Materials and Supplies	052342	5,625.92	0.00
POLICE SERVICES	GENERAL FUND	0111	Financial Services	140203	Misc Services and Charges	052950	2,184.03	0.00
POLICE SERVICES	GENERAL FUND	0111	Personnel Services	140204	Overtime	051202	0.00	5,345.52
POLICE SERVICES	GENERAL FUND	0111	Personnel Services	140204	Misc Services and Charges	052950	1,167.76	0.00
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Overtime	051202	0.00	77,077.48
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Clothing	052310	0.00	2,069.40
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Outside Phone/Communications	052514	1,344,558.76	0.00
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Misc Services and Charges	052950	6,497.35	0.00
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Equipment	053108	0.00	292,500.00
POLICE SERVICES	GENERAL FUND	0111	Information Technology	140205	Expense Recovery - Personnel	056199	0.00	4,000.00
POLICE SERVICES	GENERAL FUND	0111	Property & Evidence	140206	Overtime	051202	0.00	39,557.72
POLICE SERVICES	GENERAL FUND	0111	Property & Evidence	140206	Clothing	052310	0.00	2,180.60
POLICE SERVICES	GENERAL FUND	0111	Property & Evidence	140206	Misc Services and Charges	052950	19,477.25	0.00
POLICE SERVICES	GENERAL FUND	0111	Property & Evidence	140206	Expense Recovery - Personnel	056199	0.00	800.00
POLICE SERVICES	GENERAL FUND	0111	Real Time Crime Center	140207	Overtime	051202	0.00	84,833.35
POLICE SERVICES	GENERAL FUND	0111	Real Time Crime Center	140207	Clothing	052310	0.00	5,947.22
POLICE SERVICES	GENERAL FUND	0111	Real Time Crime Center	140207	Expense Recovery - Personnel	056199	0.00	213,490.93
POLICE SERVICES	GENERAL FUND	0111	Real Time Crime Center	140207	Prior Year Expense	059900	0.00	113,836.86
POLICE SERVICES	GENERAL FUND	0111	Radio Maintenance	140208	Overtime	051202	0.00	63,948.57
POLICE SERVICES	GENERAL FUND	0111	Radio Maintenance	140208	Materials and Supplies	052342	0.00	83,312.64
POLICE SERVICES	GENERAL FUND	0111	Police Communication Recruits	140209	Overtime	051202	0.00	129,077.76
POLICE SERVICES	GENERAL FUND	0111	Old Allen Station	140301	Miscellaneous Expense	052343	0.00	1,193.85
POLICE SERVICES	GENERAL FUND	0111	Union Station	140304	Miscellaneous Expense	052343	0.00	1,339.68
POLICE SERVICES	GENERAL FUND	0111	Main St. Station	140305	Miscellaneous Expense	052343	0.00	1,339.68
POLICE SERVICES	GENERAL FUND	0111	Police Reserves	140306	Expense Recovery - Personnel	056199	0.00	3,200.00
POLICE SERVICES	GENERAL FUND	0111	Tillman Station	140307	Miscellaneous Expense	052343	0.00	1,339.68
POLICE SERVICES	GENERAL FUND	0111	Appling Farms Station	140309	Miscellaneous Expense	052343	0.00	1,339.68
POLICE SERVICES	GENERAL FUND	0111	Computer Statistics	140310	Overtime	051202	0.00	56,021.52
POLICE SERVICES	GENERAL FUND	0111	Ridgeway Station	140311	Miscellaneous Expense	052343	0.00	1,339.68
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Full-Time Salaries	051101	2,685,108.58	0.00
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Overtime	051202	0.00	3,864,366.27
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Clothing	052310	431,776.57	0.00
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Equipment	053108	0.00	48,878.33
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Expense Recovery - Personnel	056199	0.00	885,417.07
POLICE SERVICES	GENERAL FUND	0111	Police Precinct Personnel	140312	Prior Year Expense	059900	0.00	4,693,631.42



CITY OF MEMPHIS
Q3 BUDGET ADJUSTMENT RESOLUTION TABLE - 3
FISCAL YEAR 2026

REQUEST DESCRIPTION: Budget neutral adjustments

DIVISION	FUND NAME	FUND	SERVICE CENTER NAME	SERVICE CENTER	ACCOUNT NAME	ACCOUNT	INCREASE (DEBIT)	DECREASE (CREDIT)
POLICE SERVICES	GENERAL FUND	0111	Neighborhood Watch Police	140313	Overtime	051202	0.00	3,788.83
POLICE SERVICES	GENERAL FUND	0111	Neighborhood Watch Police	140313	Expense Recovery - Personnel	056199	114,999.96	0.00
POLICE SERVICES	GENERAL FUND	0111	Neighborhood Watch Police	140313	Community Initiatives Grants for Non-Profits	061026	0.00	2,241.87
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Overtime	051202	0.00	1,249,577.55
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Clothing	052310	86,773.15	0.00
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Expense Recovery - Personnel	056199	3,666,645.23	0.00
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Prior Year Expense	059900	1,153.59	0.00
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Grant Information Center	061016	891.87	0.00
POLICE SERVICES	GENERAL FUND	0111	Investigative Services	140401	Professional Services	065114	1,350.00	0.00
POLICE SERVICES	GENERAL FUND	0111	Special Operations	140501	Overtime	051202	0.00	76,373.96
POLICE SERVICES	GENERAL FUND	0111	Special Operations	140501	Operation Police TACT	052370	0.00	57,748.81
POLICE SERVICES	GENERAL FUND	0111	Special Operations	140501	Operation Police Aircraft	052406	0.00	247,639.62
POLICE SERVICES	GENERAL FUND	0111	Special Operations	140501	Expense Recovery - Personnel	056199	277,754.79	0.00
POLICE SERVICES	GENERAL FUND	0111	Traffic Bureau	140502	Overtime	051202	345,482.07	0.00
POLICE SERVICES	GENERAL FUND	0111	Traffic Bureau	140502	Expense Recovery - Personnel	056199	27,200.00	0.00
POLICE SERVICES	GENERAL FUND	0111	Crime Prevention	140503	Overtime	051202	388,634.06	0.00
POLICE SERVICES	GENERAL FUND	0111	Crime Prevention	140503	Expense Recovery - Personnel	056199	10,400.00	0.00
POLICE SERVICES	GENERAL FUND	0111	Crime Prevention	140503	Prior Year Expense	059900	5,026.47	0.00
TOTAL AMOUNT - BUDGET ADJUSTMENTS							16,409,396.76	16,409,396.76

