

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 05/20/2025

DATE

PUBLIC SESSION: 06/10/2025

DATE

ITEM (CHECK ONE)

 ORDINANCE X RESOLUTION X REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution approving the appeal of Dr. Lynnette P. Williams on behalf of the Acklena Lakeview Gardens CDC, Inc. seeking to overturn the action of the Memphis and Shelby County Land Use Control Board approving a re-subdivision of a portion of Lot 1 of the Save-A-Lot subdivision to create lot 3, made up of 0.82 acres on the north end at the subject property located at 4696 S Third St. known as case number S 2025-010

CASE NUMBER: S 2025-010

DEVELOPMENT:

LOCATION: 4696 S Third St

COUNCIL DISTRICTS: District 6 and Super District 8

APPELLANT: Dr. Lynnette P. Williams, Acklena Lakeview Gardens CDC, Inc.

REPRESENTATIVE: Wesley Woolridge, The Renaissance Group

REQUEST: Overturn a decision of the Land Use Control Board

AREA: +/-0.82

RECOMMENDATION: The Division of Planning and Development recommended *Approval with conditions*
The Land Use Control Board recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: **Public Hearing Required**

Add to consent agenda requesting public hearing – May 20, 2020

Public hearing – June 10, 2025

PRIOR ACTION ON ITEM:

<u>(1)</u>	APPROVAL - (1) APPROVED (2) DENIED
<u>04/10/2025</u>	DATE
<u>(1) Land Use Control Board</u>	ORGANIZATION - (1) BOARD / COMMISSION
	(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

<u>(2)</u>	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
<u>\$</u>	AMOUNT OF EXPENDITURE
<u>\$</u>	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

<u>\$</u>	OPERATING BUDGET
<u>\$</u>	CIP PROJECT #
<u>\$</u>	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
<u>Travian Smith</u>	<u>05/07/2025</u>	PLANNER I
		DEPUTY ADMINISTRATOR
<u>Brett Readable</u>	<u>05/08/2025</u>	ADMINISTRATOR
		DIRECTOR (JOINT APPROVAL)
		COMPTROLLER
		FINANCE DIRECTOR
		CITY ATTORNEY

CHIEF ADMINISTRATIVE OFFICER

COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

S 2025-010

RESOLUTION APPROVING THE APPEAL OF DR. LYNNETTE P. WILLIAMS ON BEHALF OF THE ACKLENA LAKEVIEW GARDENS CDC INC. SEEKING TO OVERTURN THE ACTION OF THE MEMPHIS AND SHELBY COUNTY LAND USE CONTROL BOARD APPROVING A RE-SUBDIVISION OF A PORTION OF LOT 1 OF THE SAVE-A-LOT SUBDIVISION TO CREATE LOT 3, MADE UP OF 0.82 ACRES ON THE NORTH END AT THE SUBJECT PROPERTY LOCATED AT 4696 S THIRD ST, KNOWN AS CASE NUMBER S 2025-010.

- This item is a resolution to appeal the Land Use Control Board's approval of a major re-subdivision of a portion of Lot 1 of the Save-A-Lot subdivision to create lot 3, made up of 0.82 acres on the north end at the subject property; and
- The Land Use Control Board held a public hearing on April 10, 2025, and approved the aforementioned request subject to one (1) condition; and
- Wesley Woolridge of The Renaissance Group appeared at the aforementioned public hearing on behalf of the appellant; and
- An appeal of the Land Use Control Board decision was filed on April 16, 2025, by Dr. Lynnette P. Williams on behalf of the Acklena Lakeview Gardens CDC, requesting the Memphis City Council overturn the action of the Land Use Control Board; and
- No contracts are affected by this item; and
- No expenditure of funds/budget amendments are required by this item.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, April 10, 2025**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER:	S 2025-010
LOCATION:	4696 S. Third St
COUNCIL DISTRICT(S):	District 6 and Super District 8
OWNER/APPLICANT:	David Dale
REPRESENTATIVE:	Wesley Woolridge, The Renaissance Group
REQUEST:	Re-subdivision of Lot 1 of Save-A-Lot Subdivision to create a 0.82 Acres Lot 3 on the North End
EXISTING ZONING:	Commercial Mixed Use – 3 (CMU-3)
AREA:	+/-0.82 acres

The following spoke in support of the application: Wesley Woolridge

The following spoke in regards to the application: Jakiya Shaw, and Dr. Lynnette Williams

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions of the application.

The motion passed by a vote of 4-3 on the regular agenda.

Respectfully,

Travian Smith
Planner I
Land Use and Development Services
Division of Planning and Development

Cc: Committee Members
File

1. No curb cut access is allowed on Shelby Drive.



RESOLUTION APPROVING THE APPEAL OF DR. LYNNETTE P. WILLIAMS ON BEHALF OF THE ACKLENA LAKEVIEW GARDENS CDC INC. SEEKING TO OVERTURN THE ACTION OF THE MEMPHIS AND SHELBY COUNTY LAND USE CONTROL BOARD APPROVING A RE-SUBDIVISION OF A PORTION OF LOT 1 OF THE SAVE-A-LOT SUBDIVISION TO CREATE LOT 3, MADE UP OF 0.82 ACRES ON THE NORTH END AT THE SUBJECT PROPERTY LOCATED AT 4696 S THIRD ST, KNOWN AS CASE NUMBER S 2025-010.

WHEREAS, The Renaissance Group filed an application with the Memphis and Shelby County Division of Planning and Development to re-subdivide a portion of Lot 1 of the Save-A-Lot subdivision to create lot 3, made up of 0.82 acres on the north end at the subject property; and

WHEREAS, the Memphis and Shelby County Division of Planning and Development reviewed the application in accordance with the standards and regulations of Memphis and Shelby County Unified Development Code and submitted its findings and recommendation to the Memphis and Shelby County Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on April 10, 2025, and said Board approved the request of the applicant subject to one (1) condition.

WHEREAS, Dr. Lynnette P. Williams, filed an appeal on April 16, 2025, on behalf of the Acklena Lakeview Gardens CDC, Inc. with the Memphis and Shelby County Division of Planning and Development requesting that the Council of the City of Memphis overturn the action of the Memphis and Shelby County Land Use Control Board; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned appeal pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said appeal is consistent with the Memphis 3.0 General Plan; and

WHEREAS, upon evidence presented at this public hearing by the appellant, the City Council of the City of Memphis, concludes the appeal herein should be granted.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MEMPHIS, that the appeal of the appellant, Dr. Lynnette P. Williams on behalf of the Acklena Lakeview Gardens CDC, Inc., is granted and the action of the Memphis and Shelby County Land Use Control Board on April 10, 2025, is hereby overturned.

BE IT FURTHER RESOLVED, that this resolution shall take effect from and after the date it shall have been enacted according to due process of law by virtue of the passage thereof by the Council of the City of Memphis.

PRELIMINARY PLAN:

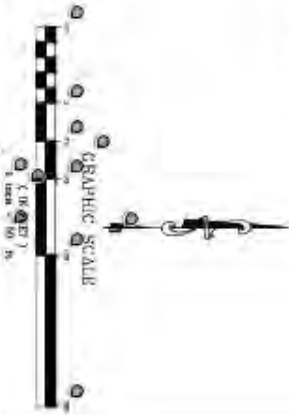
[illegible][illegible]

HEALTHY LITERACY

[illegible]

NOTES

7. ADD COMMA AFTER CROWN
SUGGEST FOR PEDESTRIAN
PATHWAYS TO BUILD CAFE
ART REQUIRED AT ALL
MATERIALS AND ENERGY
CULTURE GATE.



FINAL PLAN

SAVE-A-LOT SUBDIVISION

CASE NO. _____ FORMER CASE # 5-00-020
MEMPHIS, TENNESSEE

3 3 32ND STS WARD 75 9LOC

OWNER: ENGINEER:
HCK-PAY, LLC RENAISSANCE GROUP
3800 FAHNEY LANE, STE 340 [A70] WILLOUGHBY CIRCLE, 9TH FLOOR
COLUMBUS, OH 43260

HOUSTON, TX 77027
TANLAND, TX 39002

47152C _____ Y

09-28-20

DATE: MARCH, 2005	SCALE: 1"=30'	SHEET: 01 OF 2
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 Renaissance Group

REQUIRED SIZE WALES			
STREET NAME	S.W. WIDTH	SIZE	LOC. FROM CURB LINE
U.S. HWY. 61 (Hwy 571)	45.0'	12" EAST	THRUOUT CROSS
SHAWT ROAD	45.0'	20" IN	THRUOUT CROSS
UTAH ROAD	45.0'	20" IN	THRUOUT CROSS

THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGE OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AND OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE BUILDING.

[illegible]

ELEVATION = 205.26 (NAVD83)

CONDITIONS:

1. No curb cut access is allowed on Shelby Drive.

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

April 23, 2025

Councilwoman Jana Swarengen-Washington
Chair, Planning and Zoning Committee

Councilman J. Ford Canale
Chair, Memphis City Council

Councilman Edmund Ford, Sr.
City Council District 6

Re: Letter of Appeal for Case# S 2025-010

Dear City Council Members,

We officially Appeal the Land Use Board Decision on April 10, 2025 for approval of the Land Subdivision for an Oil Changing Facility at 4696 S. Third Street, located in a Wellhead Overlay District. We understand the Board's Ruling, however, there were no site plans presented to the public or shared at the Neighborhood Meeting for any building construction options for Proposed Lot 3. We believe this information was only privy to Mr. David Dale, Commercial Property Owner, ECK-FAY, LLC, Applicant, Mr. Khalid Mothanna, a local Multiple Gas Station and Oil Changing Facility Owner, Mr. Wesley Wooldridge, P.E., ISACA, Renaissance Group and Mr. Brett Ragsdale, Zoning Administrator and his staff. Mr. Wooldridge did not submit any details of the Neighborhood Meeting or Minutes to be included in the Staff Report compiled by Mr. Travian Smith. These would have revealed very strong Public Opposition to Land Subdivision with no architectural renderings. There was no consideration, recognition, or documentation about the environmental concerns mentioned by the meeting attendees, no construction timelines given, and no regard for the special nuances of the neighborhood or mutually beneficial alternative business ideas or even the needs of our community were not discussed with the owner or conveyed to him. The Board decision was made without accurate information and without regard to the health, welfare or safety of our citizenry. We will submit specific facts, evidence, and documentary challenges at the Public Hearing to support our DISAGREEMENT with the LAND USE BOARD DECISION. This project will provide no economic or health-related benefits to our immediate neighborhood or community. On behalf of your fellow Memphians, please reverse this decision for the sake of the future well-being our community as well as the business currently occupying Lot 1 on the property, the Save-A-Lot Supermarket, our local neighborhood grocery.

We thank you for your consideration with this matter as well as your support, and service.

Respectfully,
Lynnette P. Williams, MD, Community Spokesperson and Organizer
Executive Director, Acklena Lakeview Gardens CDC, Inc.

AGENDA ITEM: 9 **L.U.C.B. MEETING:** April 10, 2025

CASE NUMBER: S 2025-010

LOCATION: 4696 S Third Rd

OWNER/APPLICANT: David Dale

REPRESENTATIVE: Wesley Wooldridge, Renaissance Group

REQUEST: Re-subdivision of Lot 1 of Save-A-Lot Subdivision to create a 0.82 Acres Lot 3 on the North End

EXISTING ZONING: Commercial Mixed Use – 3 (CMU-3)

CONCLUSIONS

1. The applicant is requesting a commercial lot major re-subdivision. The proposed preliminary plan subdivides the north side of Lot 1 into two lots creating Lot 3. Lot 1 will be reduced from 140,322 sq. feet (3.221 acres) to 103,993 sq. feet (2.3 acres). Lot 2 will remain the same. Lot 3 will be created on the north end of the parcel making up 35,885 sq. feet (0.82 acres).
2. The proposed lots meet the bulk regulations of the Commercial Mixed Use – 3 (CMU-3) District.
3. The proposed preliminary plan is compatible with and in character with the existing development pattern of the neighborhood.

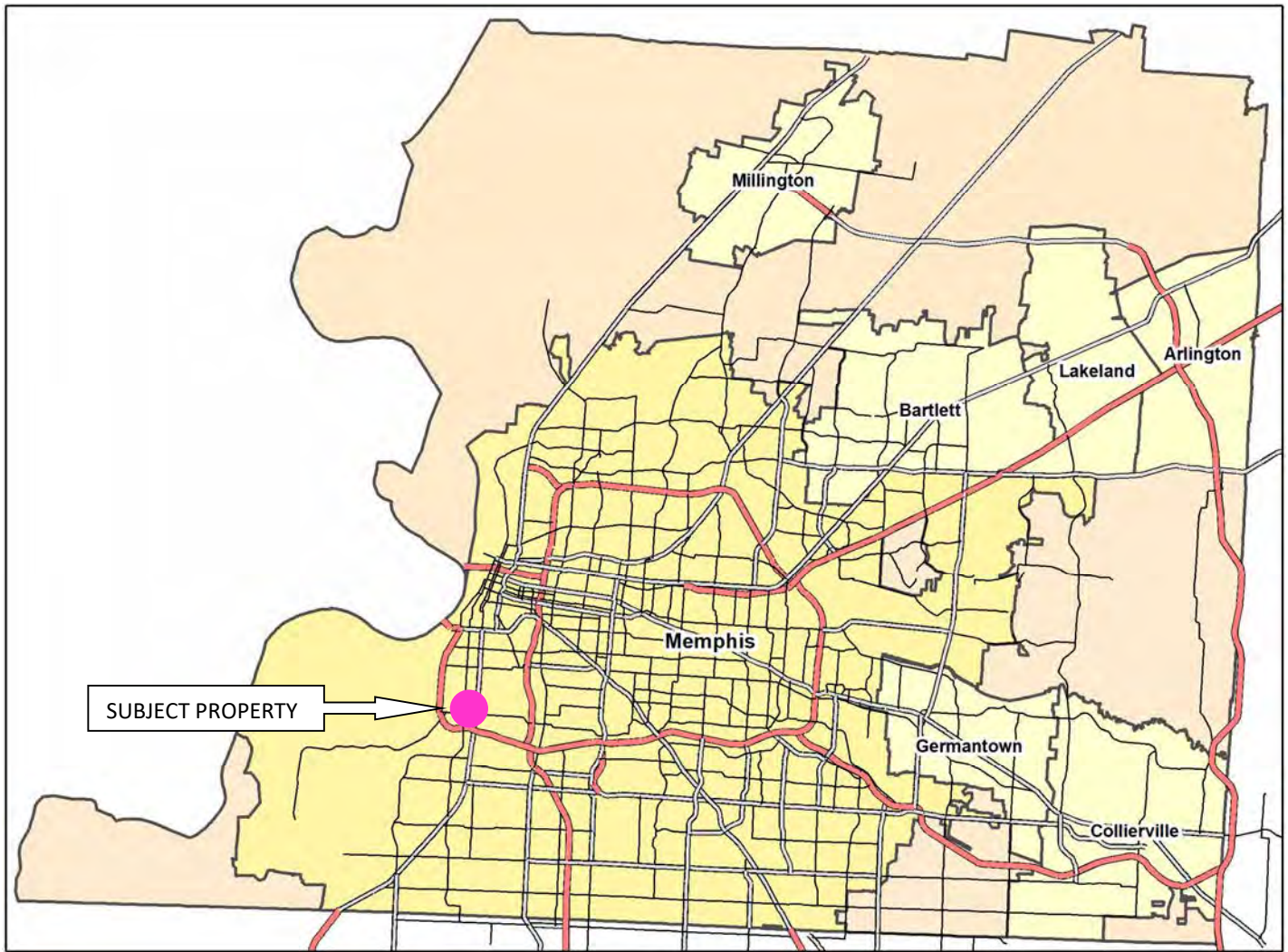
CONSISTENCY WITH MEMPHIS 3.0

This proposal is not subject with the Memphis 3.0 General Plan.

RECOMMENDATION:

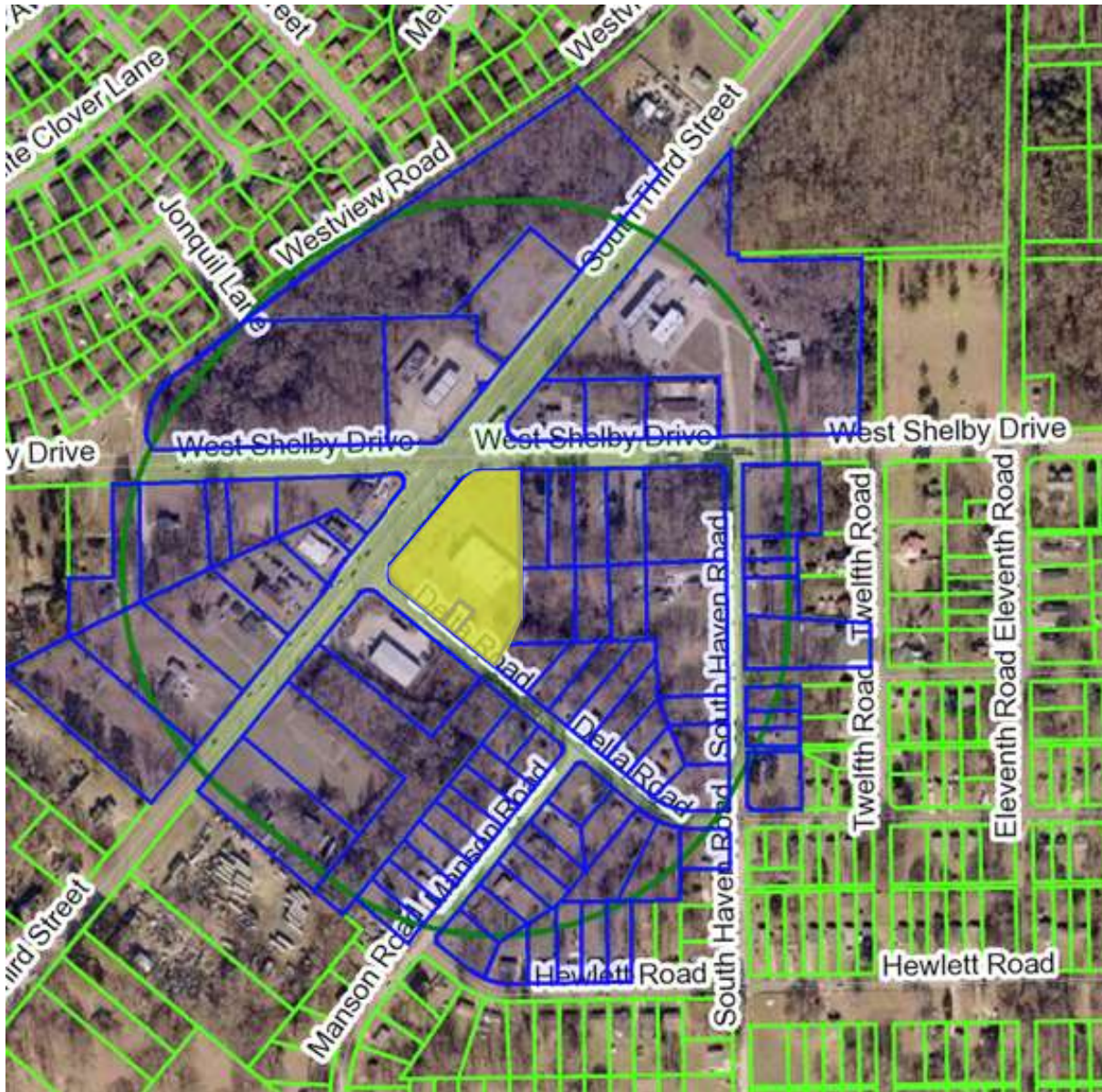
Approval with conditions

LOCATION MAP



Subject property located within the pink circle

PUBLIC NOTICE VICINITY MAP



Subject property highlighted in yellow

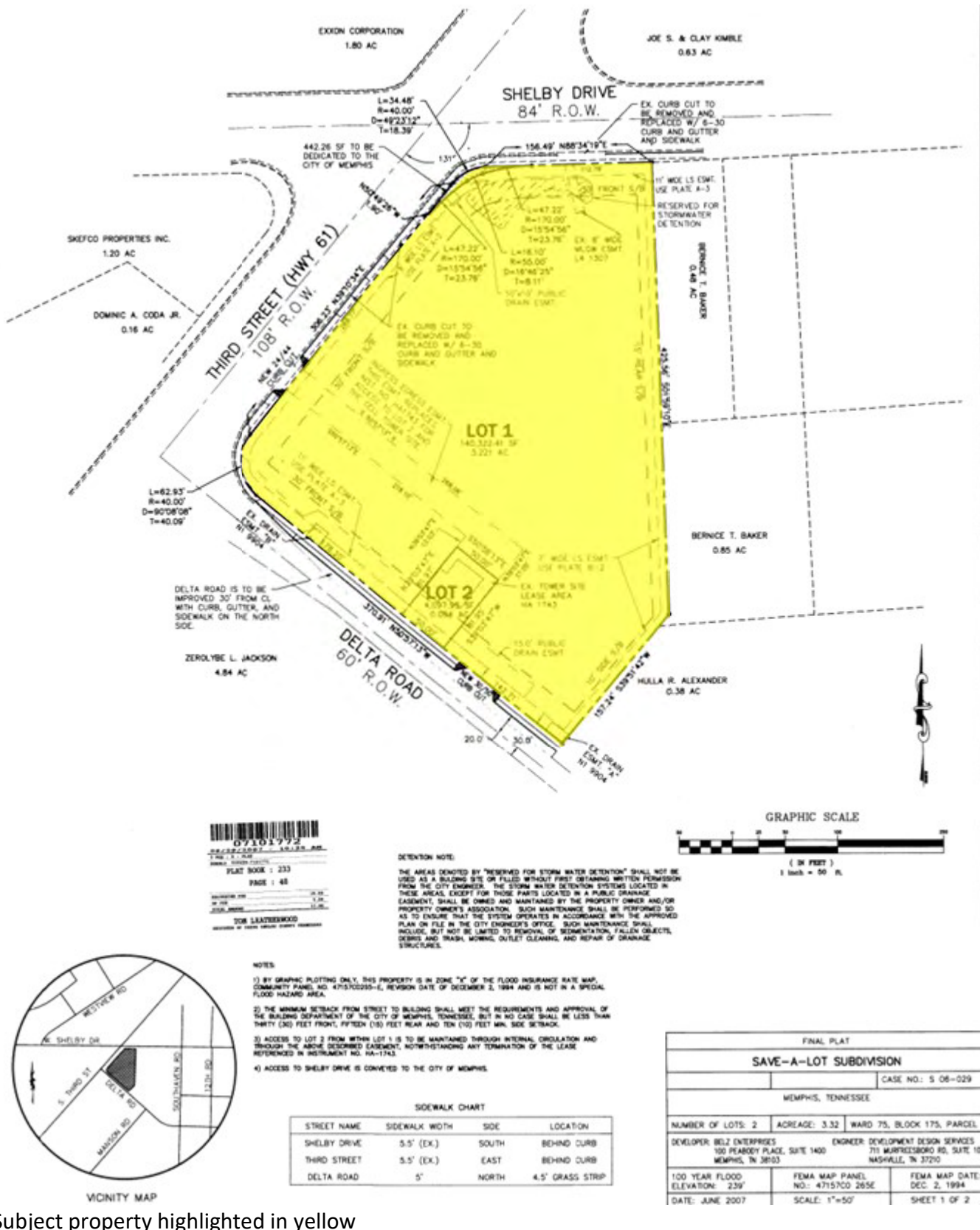
PUBLIC NOTICE DETAILS

In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed. A total of 73 notices were mailed on March 20, 2025, see page 17 of this report for a copy of said notice.

NEIGHBORHOOD MEETING

The meeting was held at 2:30 PM on Saturday, March 29, 2025, at the Whitehaven Library Raines-Finley Park, 4318 Graceland Dr.

SAV-A-LOT SUBDIVISION (2007) (PLAT BOOK 233 PAGE 48)



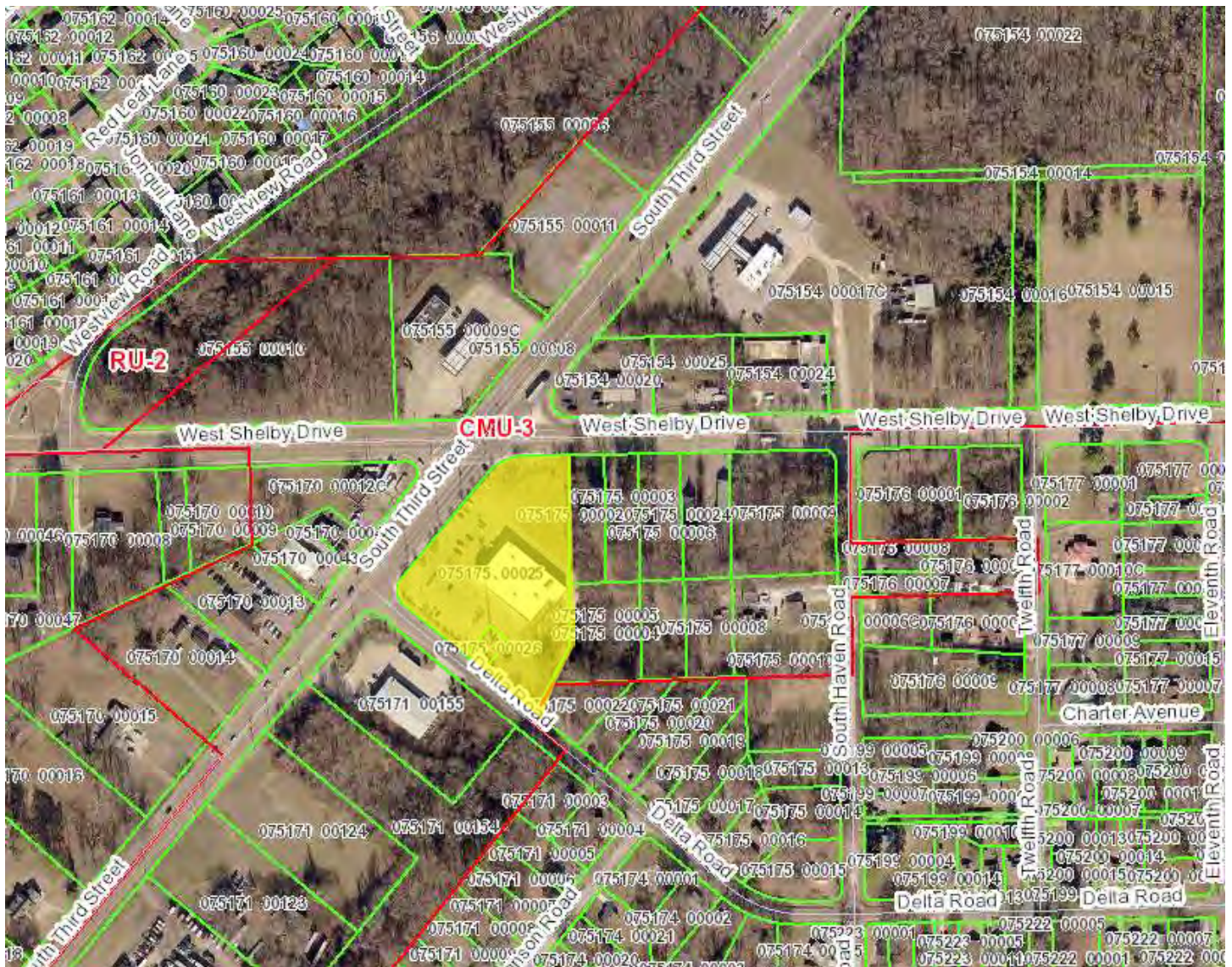
Subject property highlighted in yellow

AERIAL



Subject property outlined in yellow, imagery from 2024

ZONING MAP



Subject property highlighted in yellow

LAND USE MAP



Subject property indicated by a pink star

SITE PHOTOS



View of subject property from S Third Street looking Northeast



View of subject property from S Third Street looking Northeast



View of subject property from the corner of S Third Street and Delta Road looking East

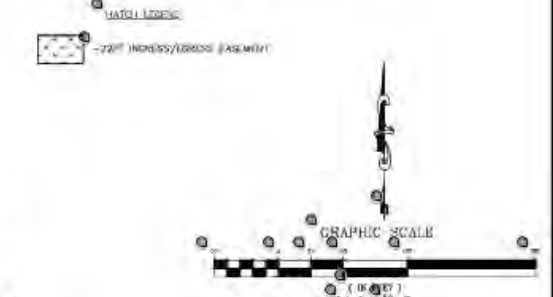


View of subject property from Delta Road looking East

PRELIMINARY PLAN



- PLANS BE ADVISED THAT A BUILDING PERMIT ISSUED BY THE MEMPHIS/SHELBY COUNTY OFFICE OF CONSTRUCTION CODE ENFORCEMENT DOES NOT ALLOW FOR ALTERNATE AND/OR IMPROVEMENTS TO ANY PORTION OF ANY (FROM) MAINTAINED BY THE CITY OF MEMPHIS, ALTERNATE AND/OR IMPROVEMENTS TO THE CITY OF MEMPHIS NON EXISTING BUT ARE NOT LIMITED TO WORK PERFORMED ON SIDEWALKS, CURBS, GUTTERS, DRIVE, DRIVE AND UTILITY TRAIL ROW PERMITS MUST BE OBTAINED FROM THE MEMPHIS CITY ENGINEER'S OFFICE AT 2001 GSB-1000.
1. NO FENCE, SHEDS, PERMANENT STRUCTURES OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT AND OTHER UTILITIES OF SERVICE MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVE AND DRIVE EXCEPT FOR CROSSINGS.
 2. THE CITY OF MEMPHIS SHALL HAVE EGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVE AND DRIVE FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAT NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID (PRIVATE) DRIVE AND DRIVE.
 3. ANY IMPROVEMENTS EXCEEDING SANITARY SEWER EASEMENTS WHICH ARE NOT AUTHORIZED BY THE CITY OF MEMPHIS MAY BE REMOVED BY THE CITY AT ANY TIME AND THE CITY SHALL BEAT NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID IMPROVEMENTS.
 4. TOWER CONNECTION MUST BE FIELD VERIFIED PRIOR TO OCCUPANCY OF FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.
- THE AREAS DESIGNATED BY 'RESERVED FOR STORMWATER DETENTION' SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY ENGINEER. THE STORMWATER DETENTION SYSTEMS LOCATED IN THESE AREAS, EXCEPT FOR THOSE PARTS LOCATED IN A PUBLIC SEWER EASEMENT, SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR PROPERTY OWNER ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE CITY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND RUSH GROWING, OUTLET CLEANSING AND REPAIR OF DRAINAGE STRUCTURES.



NOTES

1. ADA COMPLIANT CROSSINGS FOR PEDESTRIAN PATHS ACROSS CURB CUTS ARE REQUIRED AND EXISTING CURB CUTS.

FINAL PLAT

SAVE-A-LOT SUBDIVISION

CASE NO. _____ FORMER CASE # S-06-020

MEMPHIS, TENNESSEE

NO. OF LOTS: 3 3.36 ACRES VARD 75 BLOCK 175 PARCEL 1

OWNER: KCK-PAY, LLC ENGINEER: RENAISSANCE GROUP

8001 EBBES LAKE, STE. 340 8700 VILLAGE CIRCLE, STE. 100 HOUSTON, TX 77057 LANDLAND TN 38008

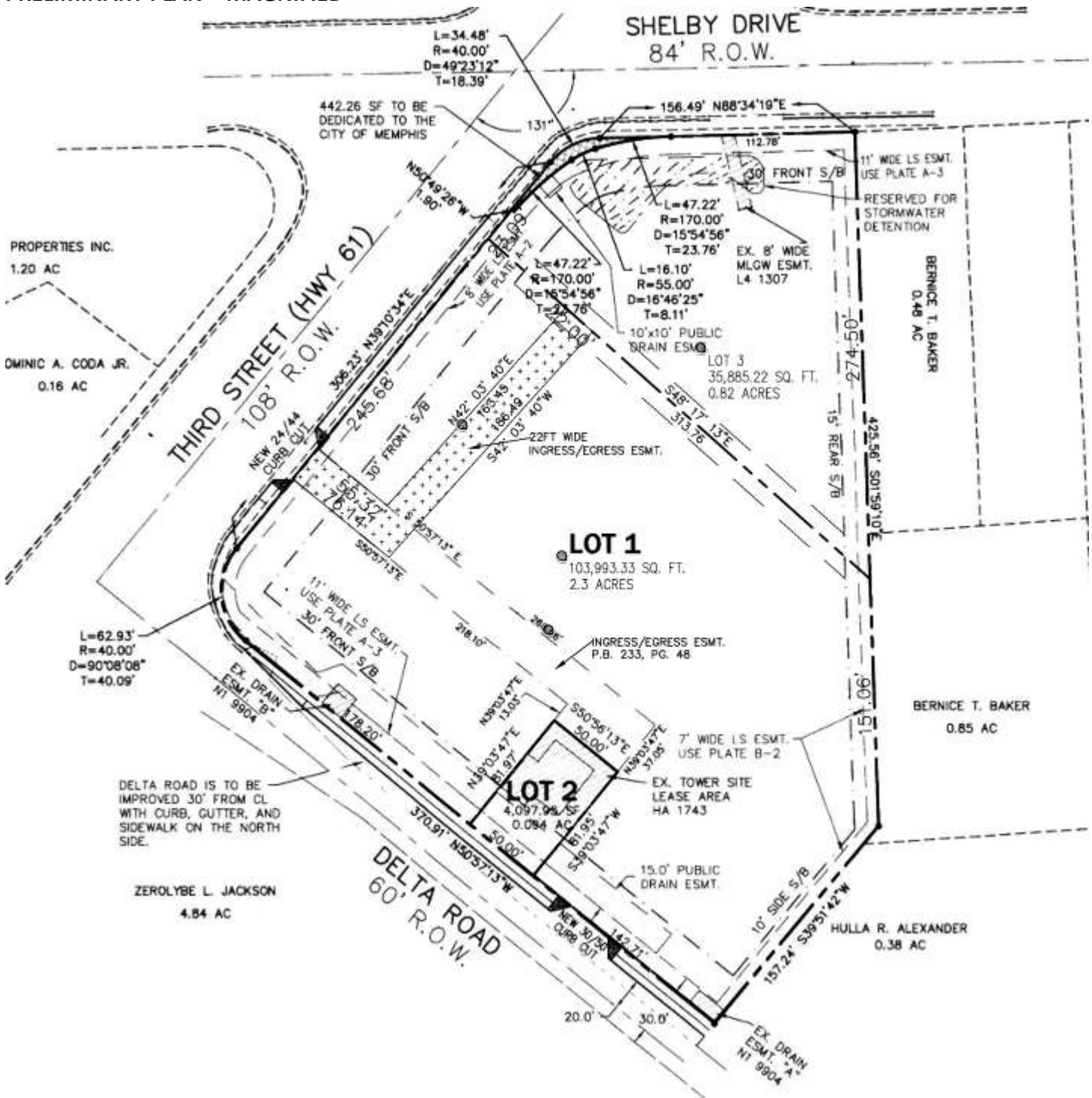
PARCEL: 0075175 00025 E.M.A. MAP PART NO: 47157C E.M.A. MAP DATE: 09-28-20

DATE: MARCH 2025 SCALE: 1"=60' SHEET 1 OF 2



- FLOOD NOTE:**
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 47157C DATED BY COMMUNITY PANEL NO. 471577 9436 F. EFFECTIVE DATE: SEPTEMBER 28, 2007. NEAREST BFE: -285.40
- CITY BENCHMARK**
BASES OF ELEVATIONS MAYO 1886
CITY OF MEMPHIS BENCH MARK #312 LOCATED AT THE NORTHWEST CORNER
AT THE BACK OF CURB 47 SOUTH END OF 1/2 WAY APRON TO GRAYS
GREEN BAPTIST CHURCH 224' NORTH OF CENTERLINE OF HWY #64
54' SOUTH OF THE (SOUTHWEST) CORNER OF BRICK PLANTER
ELEVATION = 333.36 (NAVIG88)
- REQUIRED SIDEWALKS**
- | STREET NAME | ST. W. WIDTH | SIDE | LOCATION FROM CURB LINE | EXISTING | EXISTING |
|----------------------|--------------|-------|-------------------------|----------|----------|
| U.S. HWY 61 (Hwy 61) | 15.5' | EAST | NEAR CURB | EXISTING | EXISTING |
| DELTA ROAD | 4.5' | NORTH | 4.5' | EXISTING | EXISTING |
- THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGE OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AND OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE BUILDING.

PRELIMINARY PLAN – MAGNIFIED



CASE REVIEW

Request

The request is a re-subdivision of Lot 1 to create a 0.82 acres Lot 3 on the north end.

Review Criteria

Staff agrees the major preliminary plan review approval criteria as set out in Sub-Section 9.7.7H of the Unified Development Code are met.

9.7.7H Approval Criteria

- 1. A major preliminary plan shall be approved by the Land Use Control Board if it meets the following criteria:*
 - a. Conforms with all the provisions and requirements of any plans to be considered (see Chapter 1.9);*
 - b. There are adequate public facilities available, to be provided by the applicant or programmed within the five-year capital improvements program of the governing bodies to accommodate the proposed development;*
 - c. Conforms with all the applicable provisions and requirements of this development code; and*
 - d. Conforms with all the provisions and requirements of other applicable codes and ordinances relating to land development not included in this development code.*
- 2. The LUCB or governing body(s) may reject a preliminary plan if it is determined that the proposed subdivision is not in keeping with the character of development in the neighborhood. The LUCB or governing body(s) shall consider the following in the determination of the character of the development in the neighborhood.*
 - a. Building setback lines of all principal structures that lie within 500 feet of the proposed subdivision.*
 - b. Size and width of all lots within 500 feet of the proposed subdivision.*
 - c. Proximity of arterial and connector streets within 500 feet of the proposed subdivision.*
 - d. Diversity of land uses within 500 feet of the proposed subdivision.*

Site Details

Address:
4696 S Third Street

Parcel ID:
075175 00025

Area:
+/-144,619 square feet (3.32 acres)

Description:

The subject property is known as the Save-A-Lot Subdivision, located in an CMU-3 zoning district. The subject property has two street frontages as it is located on the corner of Third Street and Delta Road covering approximately 3.32 acres. Each street frontage has landscaping consisting of trees and shrubs that surrounds the subject property. It is located less than five miles from Interstate 55. Lot 1 is currently occupied by Save-A-Lot Shopping Center and surface level parking making up 103,993 square feet (2.3 acres). Lot 2 is occupied by a cell tower making up 4,097.95 square feet (.094 acres). Per the Shelby County Assessor's office, the subject property was developed in 2008 and is characterized as a supermarket making up 16,456 square feet.

Site Zoning History

On August 27, 1997, the Board of Adjustment approved Docket BOA 1997-071 for a variance to allow a PCS monopole communications tower, with antennas and equipment cabinet; with further variations to allow a tower height of one hundred forty (140) feet; and to allow more than one main structure on a lot (Parcel ID: 075175 00026), see page 22 for BOA 1997-071 Notice of Disposition.

Relevant Unified Development Code Clauses

9.7.7 - Major Preliminary Plan Review

H. Approval Criteria

2. The LUCB or governing body(s) may reject a preliminary plan if it is determined that the proposed subdivision is not in keeping with the character of development in the neighborhood. The LUCB or governing body(s) shall consider the following in the determination of the character of the development in the neighborhood.

- a. Building setback lines of all principal structures that lie within 500 feet of the proposed subdivision.
- b. Size and width of all lots within 500 feet of the proposed subdivision.
- c. Proximity of arterial and connector streets within 500 feet of the proposed subdivision.
- d. Diversity of land uses within 500 feet of the proposed subdivision.

Preliminary Plan Review

The proposed preliminary plan subdivides the north side of Lot 1 into two lots creating Lot 3. Lot 1 will be reduced from 140,322 sq. feet (3.221 acres) to 103,993 sq. feet (2.3 acres). Lot 2 will remain the same. Lot 3 will be created on the north end of the parcel making up 35,885 sq. feet (0.82 acres). The newly created Lot 3 will have frontage on S Third Street and Shelby Drive with a 30' setback that will be reserved for stormwater retention. An ingress/egress easement across Lot 1 will be created to grant access from the parking lot of the Save-A-Lot supermarket.

Analysis

The proposed re-subdivision converts an existing parcel made up of Lot 1 and Lot 2 into a 3-parcel lot with Lot 1 being reduced from 140,322 sq. feet (3.221 acres) to 103,993 sq. feet (2.3 acres). Lot 2 will remain the same. Lot 3 will be created on the north end of the parcel making up 35,885 sq. feet (0.82 acres). Proposed Lot 3 has street frontage of S third Street and Shelby Drive. An ingress/egress easement across Lot 1 will be created to grant access from the parking lot of the Save-A-Lot supermarket. The lot meets the required regulations per the Unified Development Code (UDC).

RECOMMENDATION

Staff recommends approval with conditions

Conditions

1. Any change or deviation from the site plan upon the determination of the Zoning Administrator shall be submitted to the Land Use Control Board for review and approval or administrative review and approval by the Division of Planning and Development.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer:

1. Standard Public Improvement Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Dept, a determination can be made as to availability of sewer capacity.

Roads:

3. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
4. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

5. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.
6. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
7. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

8. The City Engineer shall approve the design, number, and location of curb cuts.
9. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter, and sidewalk.

Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

12. The City Engineer shall approve the design, number, and location of curb cuts.
13. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter, and sidewalk.

Drainage:

14. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
15. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
16. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
17. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
18. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

General Notes:

19. Development is greater than 1 acre requires detention.
20. No other utilities or services may occupy sanitary sewer easements in private drives and yards except for crossings.
21. All connections to the sewer shall be at manholes only.
22. All commons, open areas, lakes, drainage detention facilities, private streets, private sewers and private drainage systems shall be owned and maintained by a Property Owner's Association. A statement to this effect shall appear on the final plat.
23. Required landscaping shall not be placed on sewer or drainage easements.

City/County Fire Division:	No comments received.
City Real Estate:	No comments received.
County Health Department:	No comments received.
Shelby County Schools:	No comments received.
Construction Code Enforcement:	No comments received.
Memphis Light, Gas and Water:	No comments received.
Office of Sustainability and Resilience:	No comments received.
Office of Comprehensive Planning:	No comments received.

MAILED PUBLIC NOTICE

NOTICE OF PUBLIC HEARING

You have received this notice because you own or reside on a property that is near the site of a development application to be considered at an upcoming public hearing of the Memphis and Shelby County Land Use Control Board. You are not required to attend this hearing, but you are invited to do so if you wish to speak for or against this application. You may also submit a letter of comment to the staff planner listed below no later than **Wednesday, April 2, 2025 at 8 AM.**

CASE NUMBER: S 2025-010
ADDRESS: 4696 S. Third St
REQUEST: Re-subdivision of Lot 2 of Save-A-Lot Subdivision to create a 0.82 Acres Lot 3 on the North End
APPLICANT: David Dale

Meeting Details

Location: Council Chambers
City Hall 1st Floor
125 N Main St.
Time: 9:00 AM
Date: Thursday, April 10, 2025

Staff Planner Contact:

Travian Smith
✉ Travian.Smith@memphistn.gov
☎ (901) 636-6621



VICINITY MAP



To learn more about this proposal, contact the staff planner or use the QR code to view the full application.



73 Notices Mailed 3/20/2025

APPLICATION



**Memphis and Shelby County Division of
Planning and Development**

East Service Center: 6465 Mullins Station Rd; Memphis,
Tennessee 38134

Downtown Service Center: 125 N. Main Street;
Memphis, Tennessee 38103

website: www.develop901.com

Record Summary for Subdivision

Record Detail Information

Record Type: Subdivision

Record Status: Pending

Opened Date: February 27, 2025

Record Number: S 2025-010

Expiration Date:

Record Name: SAVE-A-LOT SUBDIVISION

Description of Work: RE-SUBDIVION OF LOT 2 OF SAVE-A-LOT SUBDIVION TO CREATE A 0.82 ACRE
LOT 3 ON THE NORTH END.

Parent Record Number:

Address:

4696 S THIRD RD, MEMPHIS, TN 38109

Owner Information

Primary Owner Name

Y ECK-FAY LLC

Owner Address

3900 ESSEX LN, HOUSTON, TX 77027

Owner Phone

9018335917

Parcel Information

075175 00025

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner

LUCAS SKINNER

Date of Meeting

11/12/2024

Pre-application Meeting Type

Email

GENERAL INFORMATION

Type of Subdivision

Major

Type of Preliminary Plan

Standard

Name of Subdivision

SAVE-A LOT

Number of lots

3

Acres

3.32

GENERAL INFORMATION

List any relevant former Docket / Case Number(s) related to previous applications on this site S-06-029

Access to Public Water Yes

Access to Public Sewer Yes

Waiver No

If yes, please cite the specific Article 5, Chapter 4.3, or Section 3.9.2 waiver(s) requested and provide the justification for the request -

Is this application in response to a citation, stop work order, or zoning letter No

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information -

GIS INFORMATION

Central Business Improvement District No

Case Layer BOA1997-071, BOA1997-071

Class C

Downtown Fire District No

Historic District -

Land Use COMMERCIAL

Municipality MEMPHIS

Overlay/Special Purpose District -

Zoning CMU-3

State Route 1

Lot 1

Subdivision SAVE-A-LOT

Planned Development District -

Wellhead Protection Overlay District Yes

County Commission District -

City Council District -

City Council Super District -

Contact Information

Name

DAVID DALE

Contact Type

APPLICANT

Address

Phone

(713)529-4244

Name

WESLEY WOOLDRIDGE

Contact Type

ARCHITECT / ENGINEER /
SURVEYOR

Address

Phone

(901)219-8851

OWNER AFFIDAVIT



Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1:

By: Eck-Fry, LLC
Br: Bruce W. Darrick (Print Name) [Signature] (Sign Name), state that I have read the definition of

"Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

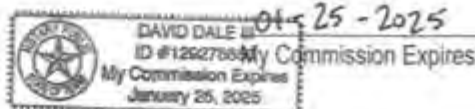
☐ I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises

☒ I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 4696 S THIRD ST, MEMPHIS TN 38109-6281
and further identified by Assessor's Parcel Number 075175 00025
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 9th day of DECEMBER in the year of 2024

[Signature]
Signature of Notary Public



LETTER OF INTENT



February 26, 2025

RE: Major Subdivision Application – Save-a-Lot Subdivision

Mr. Brett Ragsdale
City of Memphis, Division of Planning & Dev.
125 N. Main, Room #477
Memphis TN 38103

Mr. Ragsdale,

Please accept this application for a Major Subdivision for the modification of the existing Save-A-Lot Subdivision at the southeast corner of the Third Street (Hwy. 61) and Shelby Drive intersection.

The intent of this project is to create a third lot, 0.82 acres, on the north end. Lot 1 will reduce to 2.30 acres, Lot 2 will not be changed.

The newly created Lot 3 will have frontage on Third Street and Shelby Drive, but no new curb cuts are proposed, instead, access will be granted via an ingress/egress easement across Lot 1. The easement will center on an existing drive aisle for the Save-A-Lot supermarket.

Sanitary sewer and public water are available to the site.

Again, on behalf of the landowner and applicant, we are pleased to bring forward this application. As the engineers associated with this proposal, the Renaissance Group is available should you have any questions or concerns related to this request. Please feel free to contact me at 901-332-5533.

Respectfully,

J. Wesley Wooldridge, P.E., Partner
Renaissance Group, Inc.

BOA 1997-071 Notice of Disposition



MEMPHIS AND SHELBY COUNTY BOARD OF ADJUSTMENT

ROOM 1B-09 CITY HALL • 125 NORTH MID AMERICA MALL
MEMPHIS, TENNESSEE 38103

NOTICE OF DISPOSITION

DATE: August 29, 1997

TO: SprintCom, Inc.
Suite 301
35 Union Avenue
Memphis, TN 38103

RE: DOCKET 97-71 City
LOCATION: 4698 South Third Street, (at the north-
easterly corner of South Third Street
and Delta Road)

On August 27, 1997, the MEMPHIS AND SHELBY COUNTY BOARD OF ADJUSTMENT approved your application, as submitted, requesting a variation from the Zoning Regulations to allow a PCS monopole communications tower, with antennas and equipment cabinet; with further variations to allow a tower height of one hundred forty (140) feet; and to allow more than one main structure on a lot; subject to the following condition:

1. The revised plan is the approved plan and is to be so marked and made a part of the records of this case. Such approval is based in part upon the Board's evaluation and conclusion that the plan, as approved, eliminates or minimizes the potentially harmful characteristics or impact upon surrounding properties. Any change or deviation from this plan, including installation or placement of temporary and portable signs, is to be resubmitted to the Board for its review and reaffirmation of the approval hereby granted.

ALL APPEALS AND APPLICATIONS GRANTED ARE EXPRESSLY CONDITIONED UPON THE APPLICANT OBTAINING THE PERMIT REQUESTED OR OTHER ORDER WITHIN ONE (1) YEAR FROM THE DATE OF THE DECISION OF THE BOARD OF ADJUSTMENT.

The resolution of the Board is subject to your inspection at the office of the Board of Adjustment.

Respectfully,

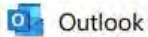
A handwritten signature in cursive script, reading "Anita Forrester", is written over the typed name.

Anita Forrester, Secretary
Board of Adjustment

xc: Homer B. Branan, III, Attorney

LETTERS RECEIVED

4 letters of opposition and a petition were received at the time of completion of this report and have subsequently been attached.



4696 s third st S 2025-010

From horn lake <hornlake4691@gmail.com>
Date Tue 4/1/2025 12:14 AM
To Smith, Travian <Travian.Smith@memphistn.gov>

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name khalid haimed I reject the save lot subdivision for 2 reasons

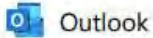
1 wellhead are protection area which could be very dangerous to the water there is a daycare 200 feet from the save lot. kids drink water from fountain machines that come from that area oil change will spill drop and pollution the water and air also will hurt residents

2 third st Is a highway which cause many driver to drive fast plus you have Shelby dr terrfic adding another bussiness there will make more terffic even there is no new cut curb it will add terffic

We pray that you save our neighborhood and save our kids god bless you

Sent from my iPhone

Sent from my iPhone



Sav a lat subdivision case 52025-010

From esam Al-zamzami <esam415@myyahoo.com>
Date: Tue 4/1/2025 12:58 AM
To: Smith, Travian <Travian.Smith@memphistn.gov>

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name Esam Alzamzami I reject the save lot subdivision for 2 reasons
1- wellhead are protection area which could be very dangerous to the water there is a daycare 200 feet from the save lot. kids drink water from fountain machines that come from that area oil change will spill drop and pollution the water and air also will hurt residents
2- third st is a highway which cause many driver to drive fast plus you have Shelby dr terrfic adding another bussiness there will make more terrfic even there is no new cut curb it will add terrfic
We pray that you save our neighborhood and save our kids god bless you
Esam Alzamzami
4672 s third st
Memphis tn 38109

April 1, 2025

Travian Smith, Case Manager
Office of Planning and Development

Land Use Board Members and Staff,

This letter is written in OPPOSITION to building an Oil Changing Facility in the Save-A-Lot Supermarket Parking Lot. (Case# S 2025-010) This project as presented appears to be a threat to the health, safety, and well-being of our community. We have three main reasons for not supporting this land subdivision. First, the property at 4696 S. Third St. is located in the Wellhead Protection Area or Overlay District. A toxic chemical type business provides a significant risk for ground water contamination or pollution of our drinking water. Secondly, safety concerns with an increase in traffic at a very busy accident prone intersection. And finally, the property is owned by ECK-FAY, LLC., a commercial property management company and not a food company. With the recent Save-A-Lot closure in Memphis, this project appears to be a threat to the viability and future of the grocery store at this location. We are in a food desert and our community can not afford to lose a supermarket in our area. Our Neighborhood Meeting was poorly attended due misinformation and the meeting was not held in our neighborhood. Concerned citizens and residents as well as business owners signed 1 of 2 petitions within 750 feet of the project and beyond of over 300 signatures to show solidarity and support for our **opposition** to this project. It provides no economic investment or environmental benefit to our community.

Respectfully,

Lynnette P. Williams, MD
Executive Director, Acklena Lakeview Gardens CDC, Inc.
Community Organizer/Spokesperson

Attached Petitions
Neighborhood Meeting Agenda/Minutes

2025-010

From Fill Save <filln.save@gmail.com>
Date Tue 4/1/2025 7:17 PM
To Smith, Travian <Travian.Smith@memphistn.gov>

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern,

My name is Samer Alkabsh, and my address is 4670 South Third Street. I am writing to express my strong opposition to the proposed Save Lot subdivision under Case 2025-010 for the following reasons:

1. Risk to Public Health and Water Safety:

The proposed development is within a wellhead protection area, which is critical for keeping our groundwater clean and safe. There is a daycare just 200 feet from the site, and the children there rely on water from this system. A gas station or oil change service increases the risk of oil spills and chemical runoff, which could contaminate our water supply and harm the air quality—putting both children and residents at serious risk.

2. Traffic and Safety Hazards:

South Third Street already handles high-speed traffic and significant congestion, especially near Shelby Drive. Adding another business will worsen traffic conditions and create more safety concerns. With no new curb cut or traffic management plan, the situation could become dangerous for both drivers and pedestrians.

3. Oversaturation of Gas Stations – What We Really Need Is a Grocery Store:

There are already several gas stations on South Third Street. The community does not need another one. What we do need is a grocery store. Many residents—especially those without reliable transportation—have to travel long distances just to access fresh food and everyday necessities. A grocery store would be a meaningful improvement to the area and better serve the daily needs of families and individuals.

Please consider the long-term impact of this proposal. We urge you to protect our neighborhood, our children, and prioritize developments that truly serve the community.

Sincerely,
Samer Alkabsh
4670 South Third Street
Sent from my iPhone

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Robert Stevenson ADDRESS 669 West Shelby Drive
Robert Stevenson CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
2. NAME ROBERT FLANWAGAN ADDRESS _____
Robert Flanagan CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
3. NAME ROBERT FLANWAGAN ADDRESS 663 W. Shelby Dr.
Robert Flanagan CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
4. NAME Everlina Jones ADDRESS 4757 South Third St.
Everlina Jones CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
5. NAME Gloria Lucas ADDRESS 4757 South Third St.
Gloria Lucas CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
6. NAME Pamela White ADDRESS 4757 South Third St.
Pam White CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
7. NAME Kyra Guinn ADDRESS 4757 South Third St.
Kyra Guinn CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
8. NAME Gloria Jones ADDRESS 4757 South Third St.
Gloria Jones CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
9. NAME Pamela Walker ADDRESS 4757 S. Third St.
Pamela Walker CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
10. NAME Carlos Berry ADDRESS 4695 Third
Carlos Berry CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE

PAGE NO. 1

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Hashim Alkhalaf ADDRESS 4620 South Third St
Hashim Alkhalaf PRINT
Hashim Alkhalaf SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
2. NAME Samir Alkhalaf ADDRESS 4620 South Third St
Samir Alkhalaf PRINT
Samir Alkhalaf SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
3. NAME Omar Ali ADDRESS 4620 South Third St
Omar Ali PRINT
Omar Ali SIGNATURE CITY Memphis STATE TN ZIP CODE 38108
4. NAME Nazir Ahamad ADDRESS 4620 South Third St
Nazir Ahamad PRINT
Nazir Ahamad SIGNATURE CITY Memphis STATE TN ZIP CODE 38108
5. NAME Muhammad Ali ADDRESS 4620 South Third St
Muhammad Ali PRINT
Muhammad Ali SIGNATURE CITY Memphis STATE TN ZIP CODE 38108
6. NAME Amir Hassan ADDRESS 4620 South Third St
Amir Hassan PRINT
Amir Hassan SIGNATURE CITY Memphis STATE TN ZIP CODE 38108
7. NAME D Park ADDRESS 4711 South Third St
D Park PRINT
D Park SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
8. NAME Alex Young ADDRESS 4711 South Third St
Alex Young PRINT
Alex Young SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
9. NAME Terrence Cook ADDRESS 4707 South 3rd
Terrence Cook PRINT
Terrence Cook SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
10. NAME Delois McPhune ADDRESS 4712 S. Third
Delois McPhune PRINT
Delois McPhune SIGNATURE CITY Memphis STATE TN ZIP CODE 38109

PAGE NO. 2

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Corretta Jones ADDRESS 4725 South Third Street
Corretta Jones CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
2. NAME Taylor Thompson ADDRESS 4925 S. Third Street
Taylor Thompson CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
3. NAME Sam Wanzan ADDRESS 4672 S. Third St.
Sam Wanzan CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
4. NAME Sherrill Ach ADDRESS 692 Delta Rd
Sherrill Ach CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
5. NAME John White ADDRESS 692 Delta Rd
John White CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
6. NAME Jermaine West ADDRESS 680 Delta Rd
Jermaine West CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
7. NAME Tommie McKinn ADDRESS 308 Hewlett
Tommie McKinn CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
8. NAME Dean Jones ADDRESS 572 Hewlett Rd
Dean Jones CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
9. NAME Jimmy M. Mc ADDRESS 691
Jimmy M. Mc CITY _____ STATE _____ ZIP CODE _____
PRINT
SIGNATURE
10. NAME Melba Perry ADDRESS 4705 Manson Rd
Melba Perry CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE

PAGE NO. 3

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Kenny L. Jones ADDRESS ^{Daycare} 4757 south Third Street
PRINT
SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
2. NAME Tamika Brown ADDRESS 4696 S Hwy 61
PRINT
SIGNATURE CITY Mphs STATE TN ZIP CODE 38109
3. NAME Shante Wilson ADDRESS 4696 S Hwy 61
PRINT
SIGNATURE CITY Memph STATE TXI ZIP CODE 38109
4. NAME Willene Massey ADDRESS ^{Concemy 5} 4670 S Third St.
PRINT
SIGNATURE CITY Memphis STATE TN ZIP CODE 38109
5. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE
6. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE
7. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE
8. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE
9. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE
10. NAME _____ ADDRESS _____
PRINT
CITY _____ STATE _____ ZIP CODE _____
SIGNATURE

PAGE NO. 4

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Khalid Haimed ADDRESS 4691 Horn Lake Rd
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
2. NAME Fatimah Vaccarella ADDRESS 170 Hillview Ave
[Signature] CITY Memphis STATE TN ZIP CODE 38108
PRINT SIGNATURE
3. NAME Charles Davis ADDRESS 5147 Brushwood Cv.
[Signature] CITY Memphis STATE TN ZIP CODE 38105
PRINT SIGNATURE
4. NAME Theresa Sprague ADDRESS 4382 Burgess Rd
[Signature] CITY Memphis STATE TN ZIP CODE 38116
PRINT SIGNATURE
5. NAME Carla Cobb ADDRESS 329 Charter Ave
[Signature] CITY Memphis STATE Tn. ZIP CODE 38109
PRINT SIGNATURE
6. NAME Michelle Holmes ADDRESS 4328 Arrow Cv.
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
7. NAME Rachelle Ward ADDRESS 452 Della Rd
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
8. NAME Shunta Horan ADDRESS 15 W. Byfield
[Signature] CITY Mpn STATE TN ZIP CODE 38109
PRINT SIGNATURE
9. NAME Dezarius Fleming ADDRESS 4930 Ford Rd
[Signature] CITY Memphis STATE TN ZIP CODE 38119
PRINT SIGNATURE
10. NAME S.P. ADDRESS 126 Champa Ave.
[Signature] CITY Mpls STATE TN ZIP CODE 38109
PRINT SIGNATURE

PAGE NO. 5

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Daviana Jackson ADDRESS 288 Delta Rd
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
2. NAME Precious Hudson ADDRESS 699 George Rd.
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
3. NAME Dominique Washington ADDRESS 4465 Hedge Cv
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
4. NAME Dawnie Mara ADDRESS 699 George rd
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
5. NAME Tracy Dargay ADDRESS 1107 W. 5th Ave Dr
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
6. NAME Belinda Mallett ADDRESS 4989 Newton Rd.
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
7. NAME Derrmon Batie ADDRESS 516 Watkins pr
[Signature] CITY Mem STATE TN ZIP CODE 38104
PRINT SIGNATURE
8. NAME Ramon Young ADDRESS 3441 Brent St
[Signature] CITY South Memphis STATE MS ZIP CODE 38672
PRINT SIGNATURE
9. NAME Jimmarie Rogers ADDRESS 5025 Jovetta
[Signature] CITY MEM STATE TN ZIP CODE 38109
PRINT SIGNATURE
10. NAME Charise Gidron ADDRESS 802 Charles Ave
[Signature] CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE

PAGE NO. 6

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Candy Jones ADDRESS 4218 Glenbrook
PRINT Candy Jones CITY Memphis STATE MO ZIP CODE 38109
SIGNATURE [Signature]
2. NAME Victoria Smith ADDRESS 253 Charter Ave
PRINT Victoria Smith CITY Mem STATE TN ZIP CODE 38109
SIGNATURE [Signature]
3. NAME Amber Cooper ADDRESS 63 Van Hoeser
PRINT Amber Cooper CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
4. NAME Suzanna Watt ADDRESS 503 Delta
PRINT Suzanna Watt CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
5. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
6. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
7. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
8. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
9. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
10. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____

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**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Antonio Stafford ADDRESS 12 Otsego Dr
Antonio Stafford CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
2. NAME Montez Banks ADDRESS 3807 Delta Rd
Montez Banks CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
3. NAME Alton Bledsoe ADDRESS 335 Washburn
Alton Bledsoe CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
4. NAME Lorenzo Frasier ADDRESS 29 W Falls Rd
Lorenzo Frasier CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
5. NAME Tre Clark ADDRESS 533 Delta rd
Tre Clark CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
6. NAME Dominique McQueen ADDRESS 4762 Hillman
Dominique McQueen CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
7. NAME Michael Lloyd ADDRESS 150 Maxwell Dr
Michael Lloyd CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
8. NAME Todd Todd ADDRESS 4763 Lorraine
Todd Todd CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
9. NAME Cameron Jones ADDRESS 4929 Neely Rd
Cameron Jones CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
10. NAME Terry Turner ADDRESS 4713 11th Rd
Terry Turner CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE

PAGE NO. 8

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Chester White ADDRESS 3800 Masterson St
Chester White CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
2. NAME Ismail Zandani ADDRESS 4770 Horn lake Rd.
Ismail Zandani CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
3. NAME MATMAN AISHAGAW ADDRESS 76 e windsor Rd.
MATMAN AISHAGAW CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
4. NAME Anthony Kibbler ADDRESS 126 CHAMPA AVE.
Anthony Kibbler CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
5. NAME Carlos Fifer ADDRESS 4778 Horn lake Rd
CARLOS FIFER CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
6. NAME Terry halmon ADDRESS 323 Delta Rd
Terry halmon CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
7. NAME Eric S. Horne ADDRESS 260 Delta Rd.
Eric S. Horne CITY Memp STATE TN ZIP CODE 38109
PRINT SIGNATURE
8. NAME Tamaraie Valente ADDRESS 126 CHAMPA AV.
Tamaraie Valente CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
9. NAME Alex Brown ADDRESS 397 Delta Rd
Alex Brown CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE
10. NAME Lashun Leasure ADDRESS 222 Delta Rd
Lashun Leasure CITY Memphis STATE TN ZIP CODE 38109
PRINT SIGNATURE

PAGE NO. 9

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Larry Morris ADDRESS 462 Bradwood Ave
PRINT Larry Morris CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
2. NAME David Boyd ADDRESS 415 McFarland Dr
PRINT D. B. CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
3. NAME Joshua Freeman ADDRESS 5104 A+Kins drive 38109
PRINT Joshua Freeman CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
4. NAME Airaelyn A ADDRESS Hill brooks
PRINT Airaelyn CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
5. NAME Cortez Wilson ADDRESS 1833 Grove Haven Dr
PRINT Cortez Wilson CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
6. NAME Henry Wesley ADDRESS 215 Howard dr
PRINT Henry Wesley CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
7. NAME Antonia Benson ADDRESS 521 Delta Rd
PRINT A.B. CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
8. NAME Joe Powers ADDRESS 270 Washburns
PRINT Joe Powers CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
9. NAME Xendrick Taylor ADDRESS 344 Washburn
PRINT Xendrick Taylor CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]
10. NAME Spencer Parker ADDRESS 5024 Hernwood Rd
PRINT Spencer Parker CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE [Signature]

PAGE NO. 10

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Eric McIntire ADDRESS 5025 Horn Lake Rd
Eric McIntire CITY Mem STATE TN ZIP CODE 38109
PRINT
SIGNATURE
2. NAME Keunta Cooper ADDRESS 4953 Hillbrook Rd
Keunta Cooper CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
3. NAME Rico Brown ADDRESS 283 Lillian Dr.
Rico Brown CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
4. NAME Russell Ollie ADDRESS 5315 Bethune Cv.
Russell Ollie CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
5. NAME Printice Ragland ADDRESS 179 Horn Lake Cove.
Printice Ragland CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
6. NAME Jonathan Bohannon ADDRESS 5085 8th Road
Jonathan Bohannon CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
7. NAME Reginald McQueen ADDRESS 446 George St
Reginald McQueen CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
8. NAME Rodney Clayton ADDRESS 550 W. Holmes Rd
Rodney Clayton CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
9. NAME Maurity Cox ADDRESS 4691 Gill Rd.
Maurity Cox CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE
10. NAME Steph Jones ADDRESS 231 Charter Ave
Steph Jones CITY Memphis STATE TN ZIP CODE 38109
PRINT
SIGNATURE

PAGE NO. 11

**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME Lawrence Clemons ADDRESS 4858 Hillbrook
Lawrence Clemons CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
2. NAME Sammy Payne ADDRESS 4786 Hillbrook Rd
Sammy Payne CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
3. NAME Demarc Montgomery ADDRESS 186 Barwood
Demarc Montgomery CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
4. NAME broda Lesure ADDRESS 302 Delta Rd
Broda Lesure CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
5. NAME Teona Bryant ADDRESS 4516 Appleville St.
Teona Bryant CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
6. NAME Darius Head ADDRESS 2430 Sparks Rd
Darius Head CITY Memphis STATE TN ZIP CODE 38106
SIGNATURE
7. NAME Samuel Christy ADDRESS 4885 Hillbrook
Samuel Christy CITY Mem STATE TN ZIP CODE 38109
SIGNATURE
8. NAME Robert Miller ADDRESS 5077 Longbranch rd
R Miller CITY Memphis STATE TN ZIP CODE 38116
SIGNATURE
9. NAME Ali Zandani ADDRESS 76 E Windsor
Ali Zandani CITY Memphis STATE TN ZIP CODE 38109
SIGNATURE
10. NAME Carlos Butler ADDRESS 5135 Gill Rd
Carlos Butler CITY Memphis STATE Tn ZIP CODE 38109
SIGNATURE

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**OPPOSITION PETITION TO BUILDING AN OIL CHANGING FACILITY/?GAS STATION
AND MAJOR SUBDIVISION OF THE SAVE-A-LOT PARKING LOT (Case# S2025-010)**

1. NAME RONNIE J. McMillan ADDRESS 5245 GEMSTONEWAY, TN
PRINT Memphis CITY Memphis STATE TN ZIP CODE 38189
SIGNATURE [Signature]
2. NAME Jashin King ADDRESS 298 Charter
PRINT Mem CITY Mem STATE TN ZIP CODE 38189
SIGNATURE [Signature]
3. NAME [Signature] ADDRESS 15 W. B. Field Dr
PRINT [Signature] CITY Mem STATE TN ZIP CODE 38109
SIGNATURE [Signature]
4. NAME Ronald BURNETT ADDRESS 173 Westlison
PRINT Ronda Burnett CITY Mem STATE TN ZIP CODE 38109
SIGNATURE [Signature]
5. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
6. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
7. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
8. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
9. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____
10. NAME _____ ADDRESS _____
PRINT _____ CITY _____ STATE _____ ZIP CODE _____
SIGNATURE _____

PAGE NO. 13

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
Carl Bell	5081 Andover Dr	Reject
Lakeisha Smith	1168 Swannee Rd	Reject
Mike House	3886 S. Park	Reject
MAITELL McQuinn	691 Honduras Rd	Reject
JAMEEL Ahmed	4617 Comm ARUN	reject
John Shible	759 Hawkeye Cv	Reject
Tareus Howard	759 Hawkeye Cv	Reject
L. McThyne	4106 Montana Cv	I Reject
Desmond Smith	1302 North Dr	I reject
TRACY JENKINS	428 W. Wabash St	I reject
John Hamilton	4600 S Third	I reject
LaCavis Fitzgerald	3680 Manson Rd	I reject
Murphy Theop	3655 Green Park	I Reject
Marshall Washington	4257 Tomoka Ave	I Reject
Bernard Backingham	4585 Melwood	I reject
Jhiquis Armstrong	5256 Blue Diamond	I reject
Malanie Moore	4222 Burwood dr	I reject
Shirley Thompson	3781 Masterson St	I reject
ROBERT ROY CURRY	4711 12th rd	I reject
Timothy L. Laffan	5035 S. Third St	I reject
TS	471 Marlome	I reject
J.C. Russel	1930 nine fig turkey	I Reject
Alexis Wooten	2430 Lathrop Drive	Reject
Jakajah Wooten	2431 Lathrop Drive	Reject
Traylon Jackson	2144 Holmes	Reject
Monet Jackson	4195 Wabash St	reject
DR	3364 Delta	Reject
Quez Smith		
John Lawson	3525 Percy	reject
Andrew Jenkins	3153 Parkrose	Reject

1

(14)

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
Malik willson	4971 Gill rd	Reject
Kenneth Mitchell	4400 Ford	
Ahmed Samir	4355 S Third	Reject
Kim Walker	3949 Ford	Reject
JOHN WAYNE	4331 LORRAINE COVE	Reject
Samuel Walker	3755 Tantor	Reject
Charles Darnon	4558 Newwood	Reject
Kevin Heron	4558 Newwood	Reject
Joey Galloway	7663 Mineral East 41 St	Reject
Doreenisha Gaines	3941 OAKSHIRE	Reject
Andrea Stokes	1711 Doubletree	
RALPH BANKSTON	625 BONWOOD	Reject
Kendon Clark	2084 Bentford St	
Sherron Holst	482 Tondawanda cv	Reject
Kourtney Brown	4182 Hagan Dr	
Joseph Wilson	4409 Ford	Reject
Reggie E TURNER	3497 S. Third	
Deshawn Allen	898 St. James Rd	Reject
Vincent Lewis	731 1/2 St. James	Reject
Hitler Lewis	731 1/2 St. James	
Chantrey Wace	4280 Hagan Dr	Reject
Katey Wace	4280 Hagan Dr	Reject
Reginald White	5153 Pickens St	Reject
Terrence Gates	4415 Falcon	Reject
Linka Mendez	675 Bonwood	Reject
Maria Martin	1128 Bonwood	Reject
MYRON HARDIN	3954 HAMMETT DR	Reject
Erica Cuyler	411 Bonita Dr	Reject
Alycia Flowers	501 Tantor	Reject
ari Turner	481 Tantor	Reject
Kenneth Turner	481 Tantor	Reject
Shaquille Nasson	1212 Ashlehurst la	Reject
Stephanie Dandridge	830 W Shelby Dr	Reject

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
James Davis	1325 FORD RD	Reject
Monta Skinner	63 W Mallory Ave	Reject
Zedrick Gladney	187 Hollywood St	Reject
Ashley Maddox	5657 Lagrange Rd.	Reject
Vertis Bland	1841 Oliver Ave	Reject
Andre Jermon	3800 Spottswood Ave	Reject
Donald Clark	2900 Frances Pl	Reject
Harold Scott	65 Carclmont Dr	Reject
Brittany Clark	8946 Philadelphia Ave	Reject
Jarico Holst	6043 Harvest Hill Ct	
Joanna Davis	1898 Young Ave	
Aaron Jones	1600 Estate Dr	
Mya Coge	220 Mclellan Ave	
Shayla Gibbs	4942 Del Rd	
Montrill Beverly	6348 Golden Paddock	
Wanda Norman	1824 Felix Ave	
EVERETT JAMES	2921 Frances Pl	
Cortez Pope	71 Clark Pl	
Lazay Shelly	958 Mallory St	
Derrick James	605 S Front St	
Joe Payne	5141 Walnut Grove Rd.	
Shayla Shupe	4202 New Willow Rd	
Jordan Davis	1575 Vinton Ave	
Bill Scott	1612 Hunters Point Dr	
Tracy Stanford	390 S Third St	Reject
Jim Boyd	8542 Shady Elm Dr	Reject
Taylor Gibbs	4936 Kimball Ave	Reject
Tareon Hill	1901 Felix Ave	Reject
Kiemarric Black	4111 Normandy Rd	Reject
Troy Robinson	1799 Foster Ave	Reject
Nesha Moore	3556 Northwood Rd	Reject
Bresha Sims	1260 Cherry Dale Dr	Reject
Donte Blackston	3552 Mimosa Ave	Reject

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
Karon Ruggie	5803 Packer ave.	reject
Terrence Cox	149 E. Shelby Dr.	reject
Tynisha West	Cypresswood Apt	Reject
Kerrie Shields	4945 Solly drive	Reject
Patricia Griggs	4740 Hillbrook	reject
Brandon Tyler	4796 Bradford	Reject
Tevin Edwards	5284 Hillbrook RD	Reject
Douglas Elliott	9782 Hillbrook	Reject -
AKI/PT	1201 Dea Drive	Reject
Derron Maxwell	5606 Solly Dr	Reject
Antonio Moody	586 Hewlett rd	
Joyce Elaine Newsum	500 Locust Road	Reject
Minnie Spann	753 Honduras	Reject
Robert	"	"
D. Ward	716 Hockleys	Reject
Kimberly Wieder	714 George St	Reject
Doris Allen	714 George St	Reject
Jane Harkaway	4867 Southaven	Reject
Kathy Gross	12 W Parton Ln	Reject
Hopie Gray	382 Washburn Dr	REJECT
Carl Baerends	4855 Hillbrook	Reject
Jedon Washington	154 Golf Club Circle	Reject
Ruthann Hudson	85 E Shelby Dr	reject
Dalmon Frazier	210 Satribe	Reject
Michael Tison	Long character me	Reject
Valuanda Rouse	205 Cypresswood Cr.	REJECT
Dee Ruffin	457 Church Ave	Reject
Enna Ph	1195 Firestone Ave	Reject
Philandie Thomas	298 Bismarck Ave	Reject
Dre Jones	4717 Fairley rd	Reject
Dennis Drummond	5607 Sege DR	Reject
Lamarick Butler	596 Delta	Reject
MORRIS Dickson	5132 Beechwood	Reject

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
Khalid Haimed	4697 Horn Luke Rd	REJECT
BERNARD S.	790 Honduras	REJECT
AZSAGI YAH	1411 Brook Rd	REJECT
Tyler T.	229 Elmer Ave.	REJECT
CATRICE HARRISON	5161 Atkins Dr	REJECT
Misty C	4938 Jonetta St	REJECT
Bertony Jones	62 Otsego Dr	REJECT
Fredrick Bachus	94 Paxton	REJECT
Antoni Atkins	480 George Rd	REJECT
CHARLOS ATKINS	450 George Rd	REJECT
Michael Atkins	349 McFarland Dr	REJECT
Peggy Kibbler	126 CHAMPA Ave.	REJECT
Willie BASSETT	53 W Falks	REJECT
Delbis McThune	4106 Montana St	REJECT
Kentrell Oldis	2178 Meadow	REJECT
Devin Smith	2222 Paxton	REJECT
David Boyls	411 McFarland Jr	REJECT
Robert Patis	3784 Leffell	REJECT
John E. Falk	4544 Aldrich	REJECT
Brandon Gordon	243 Delta Rd	REJECT
Dameion Rayner	258 Cypresswood Ave	REJECT
Ronald Rodgers	720 Petite Cv	REJECT
Veronica Owens	4535 Appleville	REJECT
Aakum Taylor	279 Washburn Dr	REJECT
Nicole House	4260 Leabell Dr	REJECT
Curtis Lett	643 Hewlett	REJECT
Larry Shaw	5082 Atkins	REJECT
Tasha Brown	1482 Birch Col	REJECT
De Blacklock	4282 Ravenscroft	REJECT
Nicholas Banks	5313 Bradcliff	REJECT
Michael Smith	4406 Hillbrook	REJECT
Akayla Brown	397 Delta Rd	REJECT
Cortez Wilson	4884 Orj.e	REJECT

**Wellhead Protection Area Neighborhood Opposition List To The
Subdivision At South Third Street & W Shelby DR.**

NAME	ADDRESS	IN FAVOUR OF
Calvin Ezell	4750 Jonetta	NO
Jean Ezell	4750 Jonetta	NO
Carolyn Ezell	342 Charter	NO
Marilyn Ezell	342 Charter	NO
Terry Gipson	536 Delta	reject
CHRISTOPHER CONNER	543 DELTA	reject
JO Ann Wright	579 Delta	Reject
Dennis Stuber	4706 Ford Rd	na
Billy Bibbitt	4714 Ford Rd	NO
Louis Myers	4810 Eldersdale dr	no
April Jones	464 George Rd	Reject
DeShonda Reel	6 West Falls	reject
Korinna Richardson	10 W. Armstrong	Reject
Danny Williams	332 Delta	yes
Shalee Dougherty	5183 Honolulu Rd	NO
Pearlie Stuckey	5183 Honolulu Rd	NO
D'Vonta Daugherty	5183 Honolulu Rd	NO
Endall Daugherty Jr.	5183 Honolulu Rd	NO
C. Mosley	4923 Eschua	REJECT
LeTerry Johnson	550 South Parkway	Reject
Demente Thompson	4879 Peace St	Reject
Samuel Curry	573 Charter	Reject
Natasha Nabors	326 Gro Road	REJECT
Patren Wright	1704 Winston Dr.	Reject
Dorthea Green	377 Washburn Cv	Reject
Mary R.	377 McFarland	REJECT
Sandra Bell	343 Bonita Dr.	Reject
Arnold Evans	371 Fitzgerald	Reject
Labya Ford	2121 Atkins Dr	Reject
Annabelle Jones	52 W. Armstrong Rd	Reject
Larry Miller	308 Skunket Rd.	Reject
Kelvin Pomeroy	415 Delta Rd	reject
REUBEN WARE	506 Rm Br	REJECT

[illegible]



Memphis and Shelby County Division of Planning and Development

East Service Center: 6465 Mullins Station Rd; Memphis,
Tennessee 38134

Downtown Service Center: 125 N. Main Street;
Memphis, Tennessee 38103

website: www.develop901.com

Record Summary for Subdivision

Record Detail Information

Record Type: Subdivision

Record Status: Pending

Opened Date: February 27, 2025

Record Number: S 2025-010

Expiration Date:

Record Name: SAVE-A-LOT SUBDIVISION

Description of Work: RE-SUBDIVISION OF LOT 2 OF SAVE-A-LOT SUBDIVISION TO CREATE A 0.82 ACRE
LOT 3 ON THE NORTH END.

Parent Record Number:

Address:

4696 S THIRD RD, MEMPHIS, TN 38109

Owner Information

Primary Owner Name

Y ECK-FAY LLC

Owner Address

3900 ESSEX LN, HOUSTON, TX 77027

Owner Phone

9018335917

Parcel Information

075175 00025

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner

LUCAS SKINNER

Date of Meeting

11/12/2024

Pre-application Meeting Type

Email

GENERAL INFORMATION

Type of Subdivision

Major

Type of Preliminary Plan

Standard

Name of Subdivision

SAVE-A LOT

Number of lots

3

Acres

3.32

GENERAL INFORMATION

List any relevant former Docket / Case Number(s) related to previous applications on this site	S-06-029
Access to Public Water	Yes
Access to Public Sewer	Yes
Waiver	No
If yes, please cite the specific Article 5, Chapter 4.3, or Section 3.9.2 waiver(s) requested and provide the justification for the request	-
Is this application in response to a citation, stop work order, or zoning letter	No
If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information	-

GIS INFORMATION

Central Business Improvement District	No
Case Layer	BOA1997-071, BOA1997-071
Class	C
Downtown Fire District	No
Historic District	-
Land Use	COMMERCIAL
Municipality	MEMPHIS
Overlay/Special Purpose District	-
Zoning	CMU-3
State Route	1
Lot	1
Subdivision	SAVE-A-LOT
Planned Development District	-
Wellhead Protection Overlay District	Yes
County Commission District	-
City Council District	-
City Council Super District	-

Contact Information

Name
DAVID DALE

Contact Type
APPLICANT

Address

Phone
(713)529-4244

Name
WESLEY WOOLDRIDGE

Contact Type
ARCHITECT / ENGINEER /
SURVEYOR

Address

Phone
(901)219-8661

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed
1627423	Credit Card Use Fee (.026 x fee)	1	12.74	INVOICED	0.00	02/27/2025
1627423	Per Lot Fee	3	90.00	INVOICED	0.00	02/27/2025
1627423	Preliminary Plan Fee	1	400.00	INVOICED	0.00	02/27/2025
			Total Fee Invoiced: \$502.74	Total Balance: \$0.00		

Payment Information

Payment Amount	Method of Payment
\$502.74	Credit Card

MEMPHIS AND SHELBY COUNTY **DIVISION OF PLANNING AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

By: Eck-Fay, LLC
Bruck W. Derricks (Print Name) [Signature] (Sign Name), state that I have read the definition of

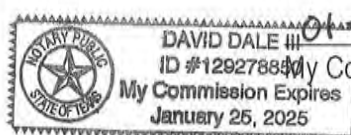
"Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- ☐ I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- ☒ I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 4696 S THIRD ST, MEMPHIS TN 38109 - 6281
and further identified by Assessor's Parcel Number 075175 00025
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 9th day of DECEMBER in the year of 2024.

[Signature]
Signature of Notary Public



01-25-2025
My Commission Expires

February 26, 2025

RE: Major Subdivision Application – Save-a-Lot Subdivision

Mr. Brett Ragsdale
City of Memphis, Division of Planning & Dev.
125 N. Main, Room #477
Memphis TN 38103

Mr. Ragsdale,

Please accept this application for a Major Subdivision for the modification of the existing Save-A-Lot Subdivision at the southeast corner of the Third Street (Hwy. 61) and Shelby Drive intersection.

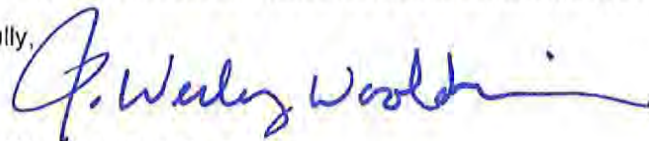
The intent of this project is to create a third lot, 0.82 acres, on the north end. Lot 1 will reduce to 2.30 acres, Lot 2 will not be changed.

The newly created Lot 3 will have frontage on Third Street and Shelby Drive, but no new curb cuts are proposed, instead, access will be granted via an ingress/egress easement across Lot 1. The easement will center on an existing drive aisle for the Save-A-Lot supermarket.

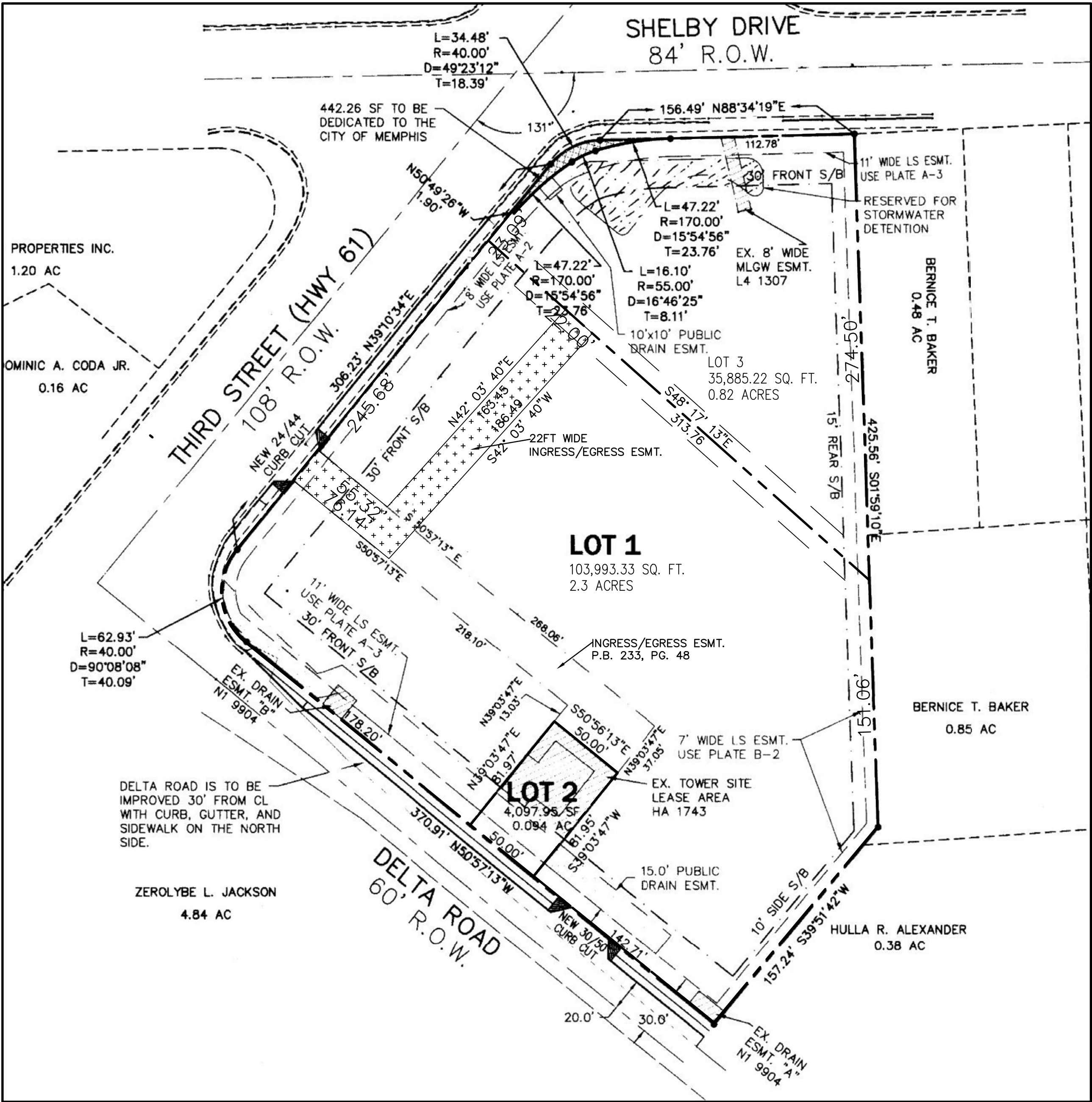
Sanitary sewer and public water are available to the site.

Again, on behalf of the landowner and applicant, we are pleased to bring forward this application. As the engineers associated with this proposal, the Renaissance Group is available should you have any questions or concerns related to this request. Please feel free to contact me at 901-332-5533.

Respectfully,



J. Wesley Wooldridge, P.E., Partner
Renaissance Group, Inc.



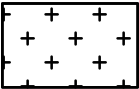
VICINITY MAP
NOT TO SCALE

PLEASE BE ADVISED THAT A BUILDING PERMIT ISSUED BY THE MEMPHIS/SHELBY COUNTY OFFICE OF CONSTRUCTION CODE ENFORCEMENT DOES NOT ALLOW FOR ALTERATIONS AND/OR IMPROVEMENTS TO ANY RIGHT-OF-WAY (ROW) MAINTAINED BY THE CITY OF MEMPHIS. ALTERATIONS AND/OR IMPROVEMENTS TO THE CITY OF MEMPHIS ROW INCLUDE BUT ARE NOT LIMITED TO WORK PERFORMED ON SIDEWALKS, CURB & GUTTER, DRIVE APRONS AND UTILITY TIE-INS. ROW PERMITS MUST BE OBTAINED FROM THE MEMPHIS CITY ENGINEER'S OFFICE AT (901) 636-6700.

- NO TREES, SHRUBS, PERMANENT STRUCTURES, OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT. NO OTHER UTILITIES OR SERVICE MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.
- THE CITY OF MEMPHIS SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.
- ANY IMPROVEMENTS ENCRoACHING SANITARY SEWER EASEMENTS WHICH ARE NOT AUTHORIZED BY THE CITY OF MEMPHIS MAY BE REMOVED BY THE CITY AT ANY TIME AND THE CITY SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID IMPROVEMENTS.
- SEWER CONNECTION MUST BE FIELD VERIFIED PRIOR TO ISSUANCE OF FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY.

THE AREAS DENOTED BY "RESERVED FOR STORM WATER DETENTION" SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY ENGINEER. THE STORM WATER DETENTION SYSTEMS LOCATED IN THESE AREAS, EXCEPT FOR THOSE PARTS LOCATED IN A PUBLIC DRAINAGE EASEMENT, SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR PROPERTY OWNERS' ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN ON FILE IN THE CITY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING, AND REPAIR OF DRAINAGE STRUCTURES.

HATCH LEGEND



-22FT INGRESS/EGRESS EASEMENT



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

FLOOD NOTE:
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP No. 47157C 0435 F. COMMUNITY PANEL No. 470177 0435 F, EFFECTIVE DATE: SEPTEMBER 28, 2007. NEAREST BFE: 265.40

CITY BENCHMARK BASES OF ELEVATIONS NAVD 1988
CITY OF MEMPHIS BENCH MARK #312: LOCATED AT THE NORTHWEST CORNER AT THE BACK OF CURB AT SOUTH END OF D/WAY APRON TO GRAYS CREEK BAPTIST CHURCH, 224' NORTH OF CENTERLINE OF HWY. #64 54' SOUTH OF THE SOUTHEAST CORNER OF BRICK PLANTER. ELEVATION = 333.36 (NAVD88).

REQUIRED SIDEWALKS

STREET NAME	S/W WIDTH	SIDE	LOCATION FROM CURB LINE	
U.S. HWY 61 (THIRD ST.)	±5.5'	EAST	BEHIND CURB	EXISTING
SHELBY DRIVE	±5.5'	SOUTH	BEHIND CURB	EXISTING
DELTA ROAD	±5'	NORTH	4.5'	EXISTING

THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGES OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AND OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE BUILDING.

NOTES:

- ADA COMPLIANT CROSS SLOPES FOR PEDESTRIAN PATH ACROSS CURB CUTS ARE REQUIRED AT ALL PROPOSED AND EXISTING CURB CUTS.



Renaissance Group

FINAL PLAT		
SAVE—A—LOT SUBDIVISION		
CASE: PD _____		FORMER CASE #: S-06-029
MEMPHIS, TENNESSEE		
NO. OF LOTS: 3	3.32ACRES	WARD 75, BLOCK 175 PARCEL 1
OWNER: ECK-FAY, LLC 3900 ESSEX LANE, STE 340 HOUSTON, TX. 77027		ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002
PARCEL #075175 00025	F.E.M.A. MAP PANEL NO.: 47157C _____F	F.E.M.A. MAP DATE: 09-28-20__
DATE: MARCH, 2025	SCALE: 1"=50'	SHEET 1 OF 2

Owner’s Certificate

We, _____, the undersigned owner of the property shown, hereby adopt this plat as my plan of development and dedicate the streets, right-of-ways, and grant the easements as shown and/or described to public use forever. We certify that we are the owner of Said Property in fee simple, duly authorized to act, and that said property is not encumbered by any taxes which have become due and payable.

Owner Date

Notary Certificate

State of _____
County of _____

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified personally appeared _____, with whom I am personally acquainted and who, upon oath acknowledged himself to be the owner of _____, and he as such representative executed the foregoing instrument for the purpose therein contained.

In witness whereof, I hereunto set out by hand and affix my seal this _____ day of _____, 2025.

(NOTARY PUBLIC)

MY COMMISSION EXPIRES: _____

Mortgagee’s Certificate

We, the undersigned, _____, (printed name of mortgagee), mortgagee of the property shown, hereby agree to this plan of subdivision and dedicate the streets, rights-of-way, easements, and rights of access as shown to the public use forever, and hereby certify that we are the mortgagee duly authorized so to act and that said property is unencumbered by any taxes which have become due and payable.

Mortgagee (signature) Date

Notary Certificate

State of _____
County of _____

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified personally appeared _____, with whom I am personally acquainted and who, upon oath acknowledged himself to be the owner of _____, and he as such representative executed the foregoing instrument for the purpose therein contained.

In witness whereof, I hereunto set out by hand and affix my seal this _____ day of _____, 2025.

(NOTARY PUBLIC)

MY COMMISSION EXPIRES: _____

Surveyor’s Certificate – (Perimeter only)

It is hereby certified that this is a Category 1 survey and that the precision of the unadjusted survey is 1:_____ or greater; that this plat has been prepared by me or under my individual supervision and conforms with applicable state laws and local zoning ordinances, subdivision regulations and specific conditions imposed on this development relating to the practice of surveying.

BY: _____ (seal)
Date: _____

Tennessee Certificate No. _____

Engineering Certificate

It is hereby certified that this plat is true and correct, is in compliance with the design requirements of the Zoning Ordinance, the Subdivision Regulations and the specific conditions imposed on this development, and takes into account all applicable Federal, State and local building laws and regulation.

BY: _____ (seal)
Date: _____

Tennessee Certificate No.: 104878



Land Use and Development Services Certificate This final plat conforms to the Planned Development acted on by the Land Use Control Board on August 12, 2021 and approved by the Council of the City of Memphis on September 7, 2021

By: _____ Date: _____
Zoning Administrator

City Engineer: _____ Date: _____

LUDS: _____ Date: _____



Renaissance
Group

FINAL PLAT		
SAVE–A–LOT SUBDIVISION		
CASE: PD _____	FORMER CASE #: S–06–029	
MEMPHIS, TENNESSEE		
NO. OF LOTS: 3	3.32ACRES	WARD 75, BLOCK 175 PARCEL 1
OWNER: ECK–FAY, LLC 3900 ESSEX LANE, STE 340 HOUSTON, TX 77027		ENGINEER: RENAISSANCE GROUP 9700 VILLAGE CIRCLE, STE. 100 LAKELAND, TN 38002
PARCEL #075175 00025	F.E.M.A. MAP PANEL NO.: 47157C _____F	F.E.M.A. MAP DATE: 09–28–20__
DATE: MARCH, 2025	SCALE: 1"=50'	SHEET 2 OF 2



Shelby County Tennessee

Willie F. Brooks Jr

Shelby County Register

As evidenced by the instrument number shown below, this document
has been recorded as a permanent record in the archives of the
Office of the Shelby County Register.



23055671

07/07/2023 - 11:51:59 AM

4 PGS	
JENNIFER 2597237 - 23055671	
VALUE	900000.00
MORTGAGE TAX	0.00
TRANSFER TAX	3330.00
RECORDING FEE	20.00
DP FEE	2.00
REGISTER'S FEE	1.00
TOTAL AMOUNT	3353.00

WILLIE F. BROOKS JR
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

WARRANTY DEED

THIS INDENTURE, made and entered into this 6th day of July, 2023, by and between **MORAN FOODS, LLC**, a Missouri limited liability company, party of the first part, and **ECK-FAY, LLC**, a Georgia limited liability company, party of the second part.

WITNESSETH: That for the consideration hereinafter expressed the said party of the first part has bargained and sold and does hereby bargain, sell, convey and confirm unto the said party of the second part the following described real estate, situated and being in the County of Shelby, State of Tennessee:

Lot 1, SAVE-A-LOT Subdivision, as shown on final plat of record in Plat Book 233 Page 48, in the Register's Office of Shelby County, Tennessee, to which plat reference is hereby made for a more particular description of said property; being the same property conveyed to party of the first party by Warranty Deed of record at Instrument No. 07107644, in the Register's Office of Shelby County, Tennessee.

TO HAVE AND TO HOLD The aforesaid real estate, together with all the appurtenances and hereditaments thereunto belonging or in any wise appertaining unto the said party of the second part, **ECK-FAY, LLC**, a Georgia limited liability company heirs and assigns in fee simple forever.

And the said party of the first part does hereby covenant with the said party of the second part that it is lawfully seized in fee of the aforescribed real estate; that it has a good right to sell and convey the same; that the same is unencumbered, except for the matters described in Exhibit A, attached hereto and made a part hereto for all purposes.

And that the title and quiet possession thereto it will warrant and forever defend against the lawful claims of all persons.

THE CONSIDERATION for this conveyance is as follows: Ten (\$10.00) Dollars cash in hand paid, and other good and valuable considerations, the receipt of all of which is hereby acknowledged.

The word "party" as used herein shall mean "parties" if it refers to more than one person or entity, and pronouns shall be construed according to their proper gender and number according to the context hereof.

WITNESS the signature of the said party of the first part the day and year first above written.

MORAN FOODS, LLC
a Missouri limited liability company

By: 
Mark E. Hutchens, CFO

STATE OF Missouri

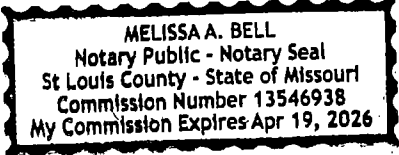
COUNTY OF St. Louis

Before me, a Notary Public of the state and county aforesaid, personally appeared MARK E. HUTCHENS with whom I am personally acquainted and who, upon oath, acknowledged himself to be Chief Financial Officer of Moran Foods, LLC, a Missouri limited liability company, the within named bargainor, and that he as such he, executed the foregoing instrument for the purposes therein contained, by signing the name of the said Moran Foods, LLC, a Missouri limited liability company, by himself as Chief Financial Officer.

WITNESS my hand and seal, this 29 day of ^{June}~~July~~, 2023.

Melissa A. Bell
Notary Public

My commission expires: 4/19/26



STATE OF Missouri

COUNTY OF St. Louis

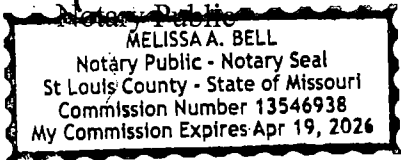
I, or we, hereby swear or affirm that to the best of affiant's knowledge, information, and belief, the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$900,000.00, which amount is equal to or greater than the amount which the property transferred would command at a fair and voluntary sale.

[Signature]
Mark E. Hutchens, Affiant

Subscribed and sworn to before me this the 29 day of ^{June}~~July~~, 2023.

Melissa A. Bell
Notary Public

My commission expires: 4/19/26



(SPACE BELOW THIS LINE FOR STATISTICAL AND RECORDING DATA ONLY)

PROPERTY ADDRESS: 4696 US-61, Memphis, Tennessee

MAIL TAX NOTICES TO:
(Name/Address)

Eck-Fay, LLC
Attention: Will Derrick
3900 Essex Lane, Suite 340
Houston, Texas 77027

NAME AND ADDRESS OF PROPERTY OWNERS:

Eck-Fay, LLC
Attention: Will Derrick
3900 Essex Lane, Suite 340
Houston, Texas 77027

THIS INSTRUMENT PREPARED BY:

John R. Krugh
1800 Bering Drive, Suite 350
Houston, Texas 77057

RETURN TO:

John R. Krugh
1800 Bering Drive, Suite 350
Houston, Texas 77057

MT#: _____

TAX PARCEL NO.: 075-175-00025

STATE TAX: \$ _____

REGISTER'S FEE: \$ _____

RECORDING FEE: \$ _____

TOTAL: \$ _____

EXHIBIT A

TITLE MATTERS

1. City of Memphis Taxes for the year 2023, a lien, now due, but not yet payable and Shelby County Taxes for the year
2. All matters affecting subject property as shown on Plat of record in Plat Book 10, Page 26, in the Register's Office of Shelby County, Tennessee.
3. All matters affecting subject property as shown on Plat of record Plat Book 233 Page 48, in the Register's Office of Shelby County, Tennessee. Building lines and easements as shown on survey prepared by Bryan A. Shirley, TN License No. 2085, for Blew & Associates, dated August 31, 2019, last revised October 1, 2019, Blew Job No. #19- 4767, (said Survey), as follows:
 - 11' LS easement;
 - 20.0' setback;
 - 5' and 8' MLGW easements;
 - 10' x 10' drainage easement;
 - 30' front setback;
 - 7' LS easement;
 - 15' rear setback;
 - Ingress/egress easement;
 - 8' LS easement;
 - 15' x 15' drainage easement;
 - 15' public drain easement;
 - 10' side setback; and
 - 10'x20' drainage easement.
4. Easement Contract in favor of the City of Memphis, acting through Memphis Light, Gas and Water Division, dated July 1, 1976, of record at Instrument No. L4 1307, in the aforesaid Register's Office, and as shown on said Survey.
5. Easements in favor of the City of Memphis, dated February 13, 1978, of record at Instrument No. N1 9904, in the aforesaid Register's Office, and as shown on said Survey.
6. Easement Contract in favor of the City of Memphis, acting through Memphis Light, Gas and Water Division, dated August 11, 1989, of record at Instrument No. CK 4050, in the aforesaid Register's Office, and as shown on said Survey.
7. Grant of Easement in favor of Global Signal Acquisitions IV LLC, a Delaware limited liability company, dated October 5, 2017, of record at Instrument No. 17110180, in the aforesaid Register's Office, and as shown on said Survey.

BOBO GEQUAIS K
2794 MADISON AVE #7
MEMPHIS TN 38111

SHELBY COUNTY TAX SALE 11.01
PO BOX 2751 #
MEMPHIS TN 38101

GAMBLE BARBARA S
651 DELTA RD #
MEMPHIS TN 38109

KILPATRICK-JONES CORRETTA
5188 S SUNNY AUTUMN LN #
MEMPHIS TN 38125

RHODES KATRINA AND TERRANCE RHODES
5534 SHADE CV #
MEMPHIS TN 38125

STEVisON LONZO
4787 SOUTHAVEN RD #
MEMPHIS TN 38109

SOURCE INVESTMENTS LLC
1739 W HOLMES RD #
MEMPHIS TN 38109

WAGNER JASON G & MICHELE A
21979 JETTERS LN #
SAUGUS CA 91350

JONES EDDIE L
4809 MANSON RD #
MEMPHIS TN 38109

LPG PROPERTIES LLC
1040 TWINKLETOWN RD #
MEMPHIS TN 38116

JACKSON MINNIE J
662 DELTA RD #
MEMPHIS TN 38109

MALONE FLORENE
4794 MANSON RD #
MEMPHIS TN 38109

JOHNSON KENNETH L
4695 SOUTHAVEN RD #
MEMPHIS TN 38109

SHELBY COUNTY TAX SALE 19.04
PO BOX 2751 #
MEMPHIS TN 38101

WIGGINS LETRICIA
5358 ABBEYCREST DR #
MEMPHIS TN 38109

BAKER BERNICE T
5508 KENTWOOD DR #
HORN LAKE MS 38637

REINVESTMENT COMPANY LLC
4756 SOUTHAVEN RD #
MEMPHIS TN 38109

STEVisON ILLEAN
674 HEWLETT RD #
MEMPHIS TN 38109

BRIGHT OSCAR L & RUBY L
4715 S HAVEN RD #
MEMPHIS TN 38109

BAGGETTES FAMILY TRUST
4728 SPOTTSWOOD AVE ## 122
MEMPHIS TN 38117

SIMMONS KAREN D
670 HEWLETT RD #
MEMPHIS TN 38109

FIELDS AMOS & EVERLENA
4710 SOUTHAVEN RD #
MEMPHIS TN 38109

ADAMS TYRONE & SYLVIA
4066 MICKEY DR #
MEMPHIS TN 38116

GREEN LATRELL
5154 BRUSHWOOD DR #
MEMPHIS TN 38109

PARAGON LYT TN LLC
2000 WALKER AVE #1
MEMPHIS TN 38104

MONTGOMERY MARLON C
1440 E SHORE CV #
MEMPHIS TN 38109

AL ZAMZAMI ESAM M
4672 S 3RD ST #
MEMPHIS TN 38109

FLOW CREATIVE PROPERTY SOLUTIONS LLC
PO BOX 892 #
TWIN PEAKS CA 92391

RICHARDSON PAULA
5847 FOXDALE RD #
MEMPHIS TN 38115

RINGMASTER LLC
10501 HAYWOOD DR #
LAS VEGAS NV 89135

FREEMAN JAMES L
1139 BRIDGEWATER RD #
MEMPHIS TN 38018

HALLEN JEFFERY K AND NING HALLEN LIVING
686 DELTA RD #
MEMPHIS TN 38109

HODGE DARRIUS
4775 MANSON RD #
MEMPHIS TN 38109

AL ZAMZAMI ESAM M
4672 S 3RD ST #
MEMPHIS TN 38109

HEROD PATRICK
680 DELTA RD #
MEMPHIS TN 38109

ISAIAH INVESTMENTS LLC
3098 E RAINES RD #
MEMPHIS TN 38118

MYERS ELBERT L & SHIRLEY A AND BARBARA D
P O BOX 9038 #
MEMPHIS TN 38190

HAMMOND MARTHA AND ARTHUR HAMMONDS JR
11484 BRIAN LAKES DR #
JACKSONVILLE FL 32221

JRI LLC
6000 POPLAR AVE #250
MEMPHIS TN 38119

BAKER BERNICE T
5508 KENTWOOD DR #
HORN LAKE MS 38637

RHODES KATRINA AND TERRANCE RHODES
5534 SHADE CV #
MEMPHIS TN 38125

SPENCER JINNIE L
4791 MANSON RD #
MEMPHIS TN 38109

VASCONEZ WILSON
5368 AIRVIEW RD #
MEMPHIS TN 38109

ECHOLS MARKESHA D
1433 BONNIE DR #
MEMPHIS TN 38116

BRYANT WILLIE M AND RAY BRYANT (RS)
4774 MANSON RD #
MEMPHIS TN 38109

GREATER FAITH C O G I C DEVELIVERANCE
669 W SHELBY DR #
MEMPHIS TN 38109

ALBANO MICHAEL & DENISE
68 WOODLOT RD #
RIDGE NY 11961

PUGH CATHY AND RUDELL PUGH JR
4797 MANSON RD #
MEMPHIS TN 38109

FLANNAGAN ROBERT L
5073 BRUSHWOOD DR #
MEMPHIS TN 38109

PEGASUS PROPERTIES LLC
3052 RIVERVIEW WAY #
HOLLISTER CA 95023

DENTON BARBARA A
665 HEWLETT RD #
MEMPHIS TN 38109

COKER JASON J
4510 S WACO AVE #
TULSA OK 74107

SHELBY COUNTY TAX SALE 18.02
PO BOX 2751 #
MEMPHIS TN 38101

ESTER PEARL AND ODEL ESTER
4788 MANSON RD #
MEMPHIS TN 38109

HALL MATTIE M
4706 SOUTHAVEN RD #
MEMPHIS TN 38109

HOLLOWAY BOOKER AND BETINA HOLLOWAY
5042 EASTSHORE DR #
MEMPHIS TN 38109

HYMON LUTHER
5063 LAUREL LAKE DR #
MEMPHIS TN 38125

BRIGHT OSCAR L & RUBY L
4715 S HAVEN RD #
MEMPHIS TN 38109

JRI LLC
6000 POPLAR AVE #250
MEMPHIS TN 38119

STEVisON JERRY D
680 HEWLETT RD #
MEMPHIS TN 38109

UNDERWOOD ODELL & MARY L
688 HEWLETT RD #
MEMPHIS TN 38109

DUNCAN FRANCIS
2282 DRAKE #
MEMPHIS TN 38106

HUDSON ETHEL M
698 HEWLETT RD #
MEMPHIS TN 38109

P AND P CLEANERS
4711 S 3RD ST #
MEMPHIS TN 38109

WESTWOOD MANOR INC
620 PARKROSE AVE #
MEMPHIS TN 38109

CODA DOMINIC A III
4707 S 3RD ST #
MEMPHIS TN 38109

PRIDE PROPERTY LLC
4670 S 3RD ST #
MEMPHIS TN 38109

WRIGHT LARNCE
4597 S 3RD ST #
MEMPHIS TN 38109

BAKER BERNICE T
5508 KENTWOOD DR #
HORN LAKE MS 38637

BRIGHT OSCAR L & RUBY L
4715 SOUTH HAVEN RD #
MEMPHIS TN 38109

SKEFOS JAMES J (1/2%) AND CATHERINE H
3981 WALNUT GROVE RD #
MEMPHIS TN 38111

SHELBY COUNTY TAX SALE 18.01
PO BOX 2751 #
MEMPHIS TN 38101

SHELBY COUNTY TAX SALE 17.03
PO BOX 2751 #
MEMPHIS TN 38101

REALTY INCOME PROPERTIES 30 LLC
11995 EL CAMINO REAL #
SAN DIEGO CA 92130

SKEFCO PROPERTIES INC
2884 WALNUT GROVE RD #
MEMPHIS TN 38111

HIGHWAY 61 CENTER LLC
P O BOX 1565 #
LAWRENCEVILLE GA 30046

CATHERDRAL OF PRAISE MINISTRIES INC
4725 S THIRD ST #
MEMPHIS TN 38109

ECK-FAY LLC
3900 ESSEX LN #
HOUSTON TX 77027

WRIGHT LARNCE
4597 S 3RD ST #
MEMPHIS TN 38109

DUNCAN FRANCIS A
815 W SHELBY DR #
MEMPHIS TN 38109



Legend

polygonLayer

- Override 1
- Override 2

polygonLayer

- Override 1

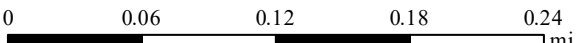
— Roads

▭ Parcels



Map prepared through Shelby County Government's
online mapping Portal on 5/12/2025

N



0 0.06 0.12 0.18 0.24 mi

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE AS ADOPTED BY THE CITY OF MEMPHIS ON AUGUST 10, 2010, AND BY SHELBY COUNTY ON AUGUST 9, 2010, AS AMENDED, TO REVISE THE ZONING AND SUBDIVISION REGULATIONS WITHIN THE CITY OF MEMPHIS PERTAINING TO SOCIAL SERVICE INSTITUTIONS.

WHEREAS, by the provisions of Chapter 165 of the Private Acts of the General Assembly of the State of Tennessee for the year 1921, authority was conferred upon the legislative body of the City of Memphis, Tennessee, to establish districts or zones within the corporate territory of the City of Memphis and to establish zoning regulations pertaining thereto, and to amend said zones or districts and zoning regulations pertaining thereto from time to time; and

WHEREAS, by the provisions of Chapter 613 of the Private Acts of the General Assembly of the State of Tennessee for the year 1931, the legislative bodies of the City of Memphis and the County of Shelby were given authority to establish districts or zones within the territory in Shelby County, Tennessee, outside of, but within five miles of, the corporate limits of the City of Memphis, and to establish zoning regulations pertaining thereto, and to amend said zones or districts and zoning regulations from time to time; and

WHEREAS, by the provisions of Chapter 625 of the Private Acts of the General Assembly of the State of Tennessee for the year 1935, authority was conferred upon the legislative body of the County of Shelby to establish districts or zones within the unincorporated territory of Shelby County and outside the five-mile zone of the corporate limits of the City of Memphis, and to amend said zones or districts and zoning regulations pertaining thereto from time to time; and

WHEREAS, by the provisions of Chapter 470 of the Private Acts of 1967, the General Assembly of the State of Tennessee conferred upon the legislative body of Shelby County the authority to regulate the subdivision or re-subdivision of land into two or more parts; and

WHEREAS, by the provisions of Section 2 of Chapter 470 of the Private Acts of 1967, the General Assembly of the State of Tennessee conferred upon the legislative bodies of the City of Memphis and the County of Shelby the authority to regulate the subdivision and re-subdivision of land within three miles of the corporate limits of the City of Memphis into two or more parts; and

WHEREAS, by the provisions of Tennessee Code Annotated, Title 54, Chapter 10 [§ 54-10-101 et seq.], the General Assembly of the State of Tennessee conferred on the legislative body of Shelby County the authority to open, close, or change public roads within the areas subject to its jurisdiction; and

WHEREAS, the Unified Development Code (UDC) was adopted by the City of Memphis on August 10, 2010, and by Shelby County on August 9, 2010, as the new regulatory framework for zoning and subdivisions in the City of Memphis and unincorporated Shelby County; and

WHEREAS, the Memphis City Council is one of the entities authorized by the UDC to initiate amendments to the Code; and

WHEREAS, pursuant to the procedures set forth in the Unified Development Code and the underlying private acts, zoning amendments affecting only the jurisdictional boundaries of the City of Memphis and not the unincorporated areas of Shelby County do not require joint approval by both legislative bodies; and

WHEREAS, the Memphis City Council concurs that the Division of Planning & Development should, from its experience in administering the Unified Development Code, periodically suggest amendments to the same to make it a more practical code benefiting the needs of the public; and

WHEREAS, the current UDC categorizes “Correctional Facility, Private” as a separate use within the Principal Use Table under Section 2.9.3H; and

WHEREAS, the City of Memphis seeks to revise this classification so that all correctional facilities, whether public or private, are consistently regulated as Social Service Institutions; and

WHEREAS, reclassifying correctional facilities in this manner ensures that their development will be subject to Special Use Permit approval, providing enhanced public oversight and limiting by-right establishment in certain zoning districts; and

WHEREAS, this amendment reflects the City’s intent to maintain an appropriate balance between development flexibility and community impact, particularly given deed restrictions prohibiting residential use on affected properties.

NOW, THEREFORE BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MEMPHIS, that the Memphis and Shelby County Unified Development Code, Section 2.5.2 under the use category “Light Industrial,” is hereby amended to specify that detention centers, jails, and prisons shall be permitted in the IH (Heavy Industrial) District only by approval of a Special Use Approval/Permit.

NOW, THEREFORE BE IT FURTHER ORDAINED BY THE COUNCIL OF THE CITY OF MEMPHIS, that the Memphis and Shelby County Unified Development Code, Section 2.9.3H, is hereby amended to strike the listing for “Correctional Facility, Private” from the table and replace it with “Correctional Facility.”

Section 2.9.3H. That various sections of the United Development Code be hereby amended as reflected below. Deletions are indicated in strikethrough:

Principal Uses	Accessory Uses
Correctional facility (private) Group shelter Neighborhood resource center Rehabilitative clinic Social service facility, soup kitchen, transient lodging or shelter for the homeless Transitional home Work release center and day reporting service establishment	Adult educational facility Associated office Food preparation or dining area Gardening Meeting room Off-street parking On-site day care where children are cared for while parents or guardians are occupied on the premises Staff residences located on-site

	Accessory solar energy system Building-mounted wind energy system Electric vehicle charging unit
--	--

SECTION 2.9.4. SEVERABILITY CLAUSE

BE IT FURTHER ORDAINED that the provisions of this Ordinance are hereby severable. If any of these sections, provisions, sentences, clauses, phrases, or parts are held unconstitutional or void, the remainder of this Ordinance shall continue in full force and effect.

SECTION 2.9.5. EFFECTIVE DATE CLAUSE

BE IT FURTHER ORDAINED that this Ordinance shall take effect after having been passed by the City Council, signed by the Chair of Council, certified and delivered to the office of the Mayor in writing by the comptroller, and becomes effective as otherwise provided by law, and shall remain effective and operative unless and until the City Council alters, amends, clarifies, or repeals it by a superseding, amending, clarifying or codifying ordinance.

Cosponsors
 Michalyn Easter-Thomas
 Jerri Green

Chairman
 J. Ford Canale